



Building G interim layout



Building G layout



Building G entrances

# BLOCK G4

## 5.11 INTRODUCTION AND LAYOUT

Building G4 is a Gateway building located at the entrance to the site. Its external facades help to reinforce the streetline of the Broadway and turn the corner to the public space at the heart of the masterplan, which descends to the Welsh Harp.

It consists of a building of 3 to 4 storeys, which completes a courtyard forming shared amenity space for the residents of Block G1/G2 and G4. All floors above ground floor are for residential use, providing a combination of flats and duplexes for intermediate (shared ownership) over ground floor commercial space.

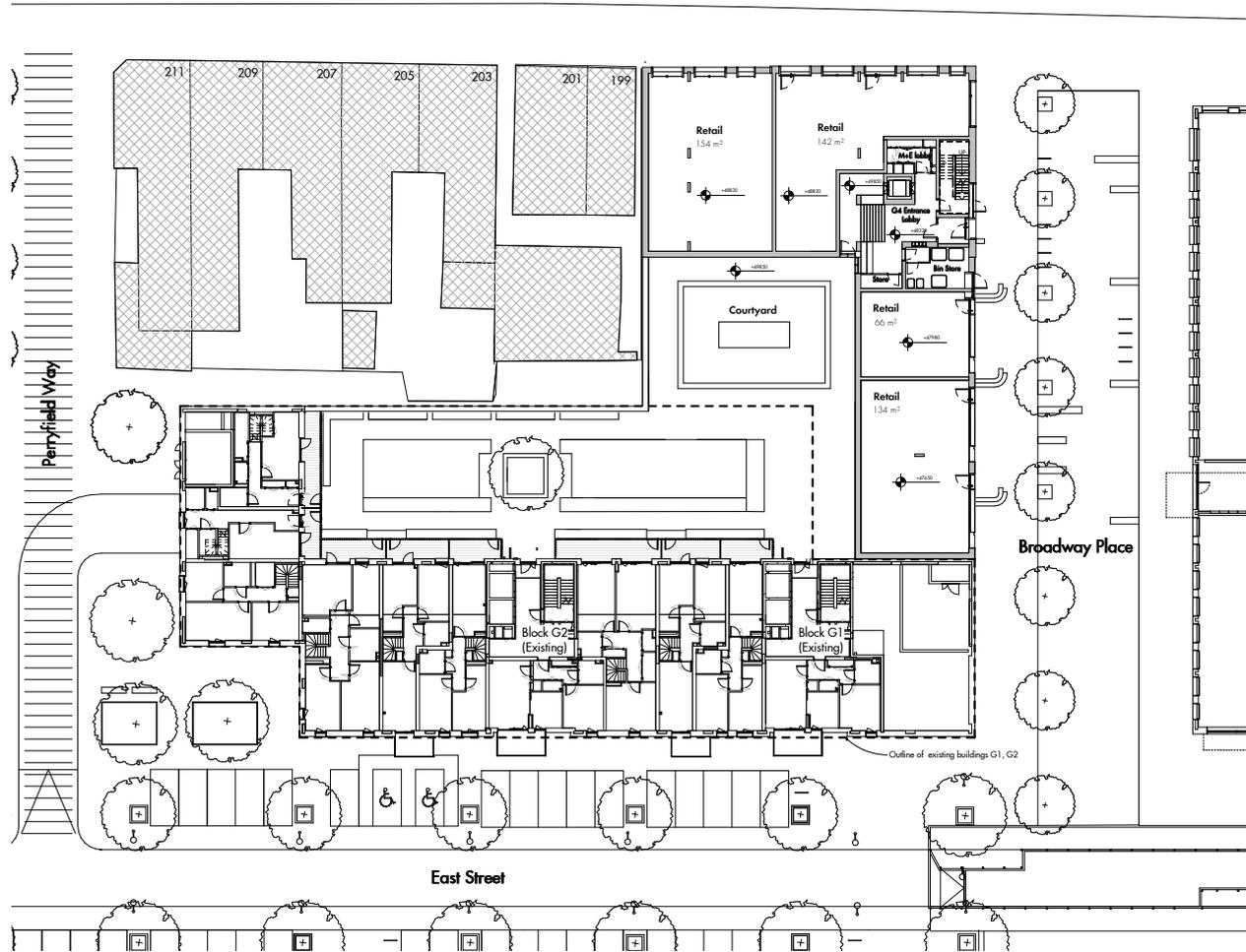
Commercial/retail space is provided here to reinforce the commercial activity along the Broadway and to provide retail opportunities along Broadway place at the Gateway to the site.

The building steps down to 3 storeys along the new public open space of Broadway Place, allowing maximum access for daylight and sunlight to reach the combined courtyard of the existing Block G1,2 and the additional of Block G4. The building is accessed via a core which extends down to the lower ground parking level.

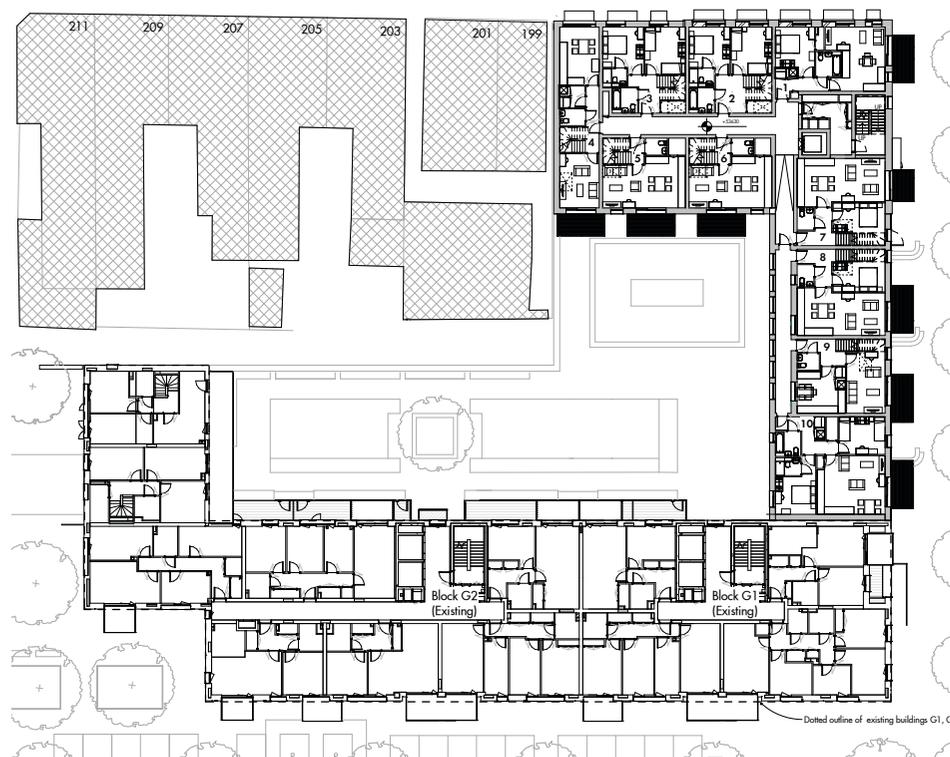
All apartments have been developed to comply with Lifetime Home Standards and their layouts have been developed according to the recommendations of the London Housing Design Guide promoted by the Mayor of London. All units have a balcony or winter garden (onto the Broadway) for private amenity space. The majority of units are dual aspect and there are no north facing single-aspect units. The commercial units will be BREEAM good.

A shared basement below the buildings includes parking and plant areas, accessed via a car park entrance off East Street. The energy centre, located in Block E2, will also service this block. At this level there is space for 20 car parking spaces (1 disabled/adaptable space), 6 motorcycle spaces and 17 cycle spaces in a secure area within close reach of the core. There will also be provision for mobility scooter and electric car (20% of all spaces) charging points.

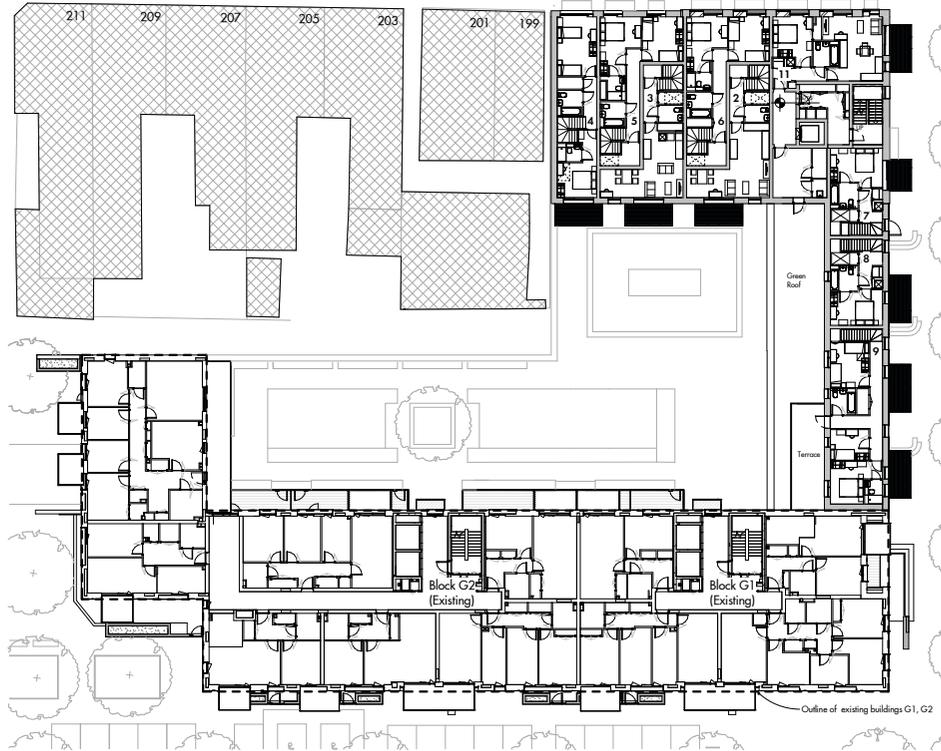
- ▶ duplex/maisonette entrance
- ▶ core entrance
- ▶ commercial



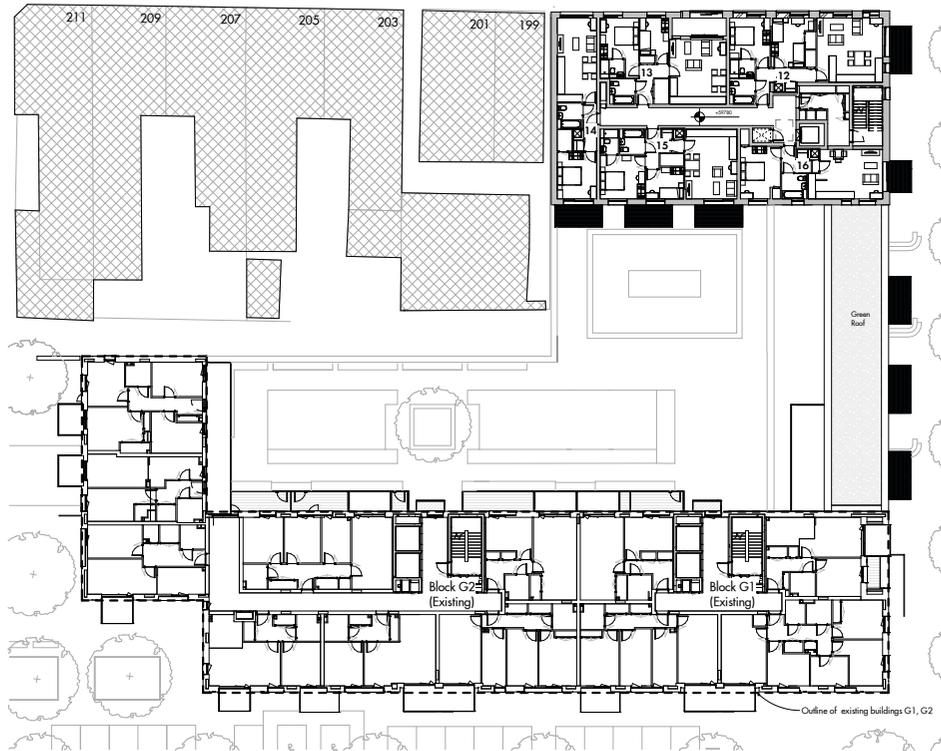
Building G4 ground floor plan



Building G4 first floor plan



Building G4 second floor plan



Building G4 third floor plan



Block G4



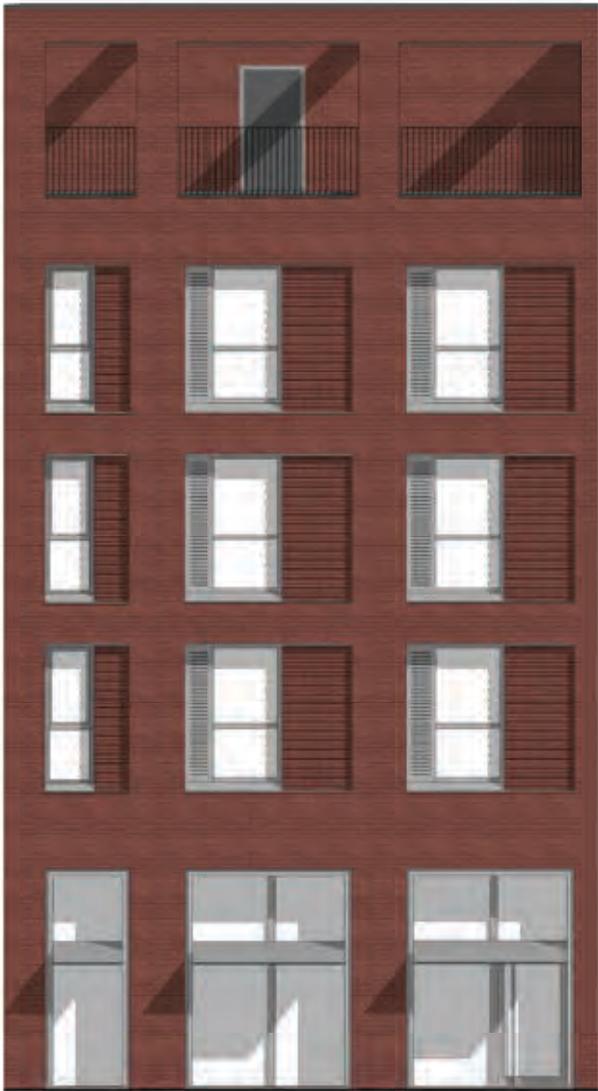
Block G1



## 5.12 SCALE AND MASSING

The building follows the massing principles approved in the outline masterplan with a higher element running north to south and lower block east to west to allow for good daylight levels and to emphasise the 'grain' across the site. The higher element running north to south also corresponds with the street hierarchy, in this instance recognising the importance of the Broadway and of allowing the corner to stitch back into the existing Victorian fabric. The change of the building height breaks the length of the facade along the Broadway as it steps down towards the existing buildings.

The residential entrance and access to the courtyard is from Broadway Place adding to the active frontage of the commercial units along this new public space.



Bay studies of facade facing the Broadway

### 5.13 APPEARANCE

In developing the detailed proposal for this building our aim has been to create a visually robust design that relates confidently to its context of the Broadway and the new buildings currently on site. The building has a simple palette of robust materials – predominantly brick with simple brick facades punctuated by the rhythm of the deep window reveals and recessed brick panels. The recessed panels have a textured patterns of alternating recessed brick courses. This relief treatment is carried around on the lower building facing Broadway Place, which is also recessed.

The sizes of the balconies relate to the size of the apartments. Balconies are not provided onto the Broadway but into the courtyard, to create useable amenity space away from the busy road. Those units with amenity space onto the Broadway are designed with winter gardens rather than balconies.

The buildings appearance is rationalised by a consistent and restrained palette of materials and simple architectural details. The colour of the brick will be red along the Broadway to harmonise with the existing street, and it will change to a buff/red when it turns the corner to Broadway place and meets the Building G1,2 on East Street. The facade is constructed from only three materials:

- Brickwork (red)
- Painted Steel (balconies)
- Aluminium (window frames)



Illustration of Broadway with Block G4 on the right hand side

## 5.14 PUBLIC REALM AND COURTYARD



Illustration of Block G4 as viewed from Station Road

The key elements of the public realm include street frontage to the Broadway and Broadway Place, and an internal courtyard shared with the rest of Block G

There is also a roof terrace to provide shared amenity space for the residents.

The street frontages of the building are predominantly commercial and a single entrance off Broadway Place gives access to the residential units on the upper levels.

The courtyard is accessible from the core at a half level above the entrance core. This core also extends to the top of the building allowing access to the roof terrace on the south-east corner of the building.

## 5.15 SERVICES STRATEGY

### Mechanical Services Overview

#### Incoming Supplies

The building will be served with heat for heating and hot water from the local site-wide district heating system. The building will be provided with a plate heat exchange plantroom at basement level to hydraulically separate the building system from the site wide distribution.

A new Mains Cold water supply is provided, adequately sized for the building and as approved by the water board.

A potable combined cold water storage and sprinkler tank and booster set shall be provided within a dedicated plantroom at Basement level.

#### Residential

A Heat Interface Unit to generate heating and hot water (with HIU storage cylinder) will be provided to each apartment. Heating shall be via radiators and shall include a wet towel rail in the bathrooms and ensuite. A heat meter shall be provided within the HIU to enable energy billing via the appointed billing company.

Mechanical Ventilation Heat Recovery (MVHR) will be provided for supply air to all habitual rooms and extract air from bathroom, ensuite, cloakroom and kitchen/utility areas.

No mechanical cooling is provided to the apartments.

Potable boosted cold water will typically enter each apartment within the ceiling void above the front door from the common landlord area and drop to a stop cock in an accessible location and then back up to high level ceiling for primary distribution. A Water meter shall be billed direct by the water authority and located within the boosted cold water riser cupboard.

Apartments shall be provided with residential sprinklers fed off the boosted water supply – subject to confirmation by the Fire Engineer.

Above ground drainage will be HDPE (high density polyethylene) within the residential units, with acoustic treatment as necessary.

The common corridors will be provided with a mechanical smoke extract system.

Mechanical environmental extract will be provided to common corridors via the smoke extract ventilation shaft. Make up air will be via the stair core and roof mounted AOV (automatically openable vent) at head of stairs.

The Ground level car park shall be naturally ventilated for smoke, with thrust fans provided, if required, for normal ventilation – subject to confirmation by a car park specialist.

#### Commercial:

Shell and Core commercial areas are to be provided with the following:

A valved, capped-off and metered connection to the communal heating system - for future extension by the tenant.

High level supply and extract louvres will be provided for future fit-out for the tenant's mechanical ventilation system.

Space allocation within the basement for VRF/DX type heating and cooling plant will be provided.

A metered Mains Cold water supply direct from the site wide network.

A metered gas connection (for cooking only) to each commercial unit sized to A3 type usage.

Riser allocation will be provided - accessed via the residential communal corridors to roof level for kitchen

## 5.16 REFUSE STRATEGY

extract ventilation. Space allocation at roof level for kitchen extract fans will be provided.

### Electrical Services Overview

Incoming supplies will be fed from the existing Block G substation installed as part of an earlier phase.

Communications housed within dedicated comms room incorporating BT/Virgin/Other services.

### Residential

Residential units are to be provided with the following:

Electrical meters (billed direct by provider) housed within the risers.

BT service (one line per dwelling – Fibre Optic intake if possible) provided.

IRS service provided to lounge via multi-grid outlet and to master bedroom via magic eye link.

### Commercial

Shell and Core commercial areas are to be provided with the following:

Three phase electrical supply (sizes to be agreed).

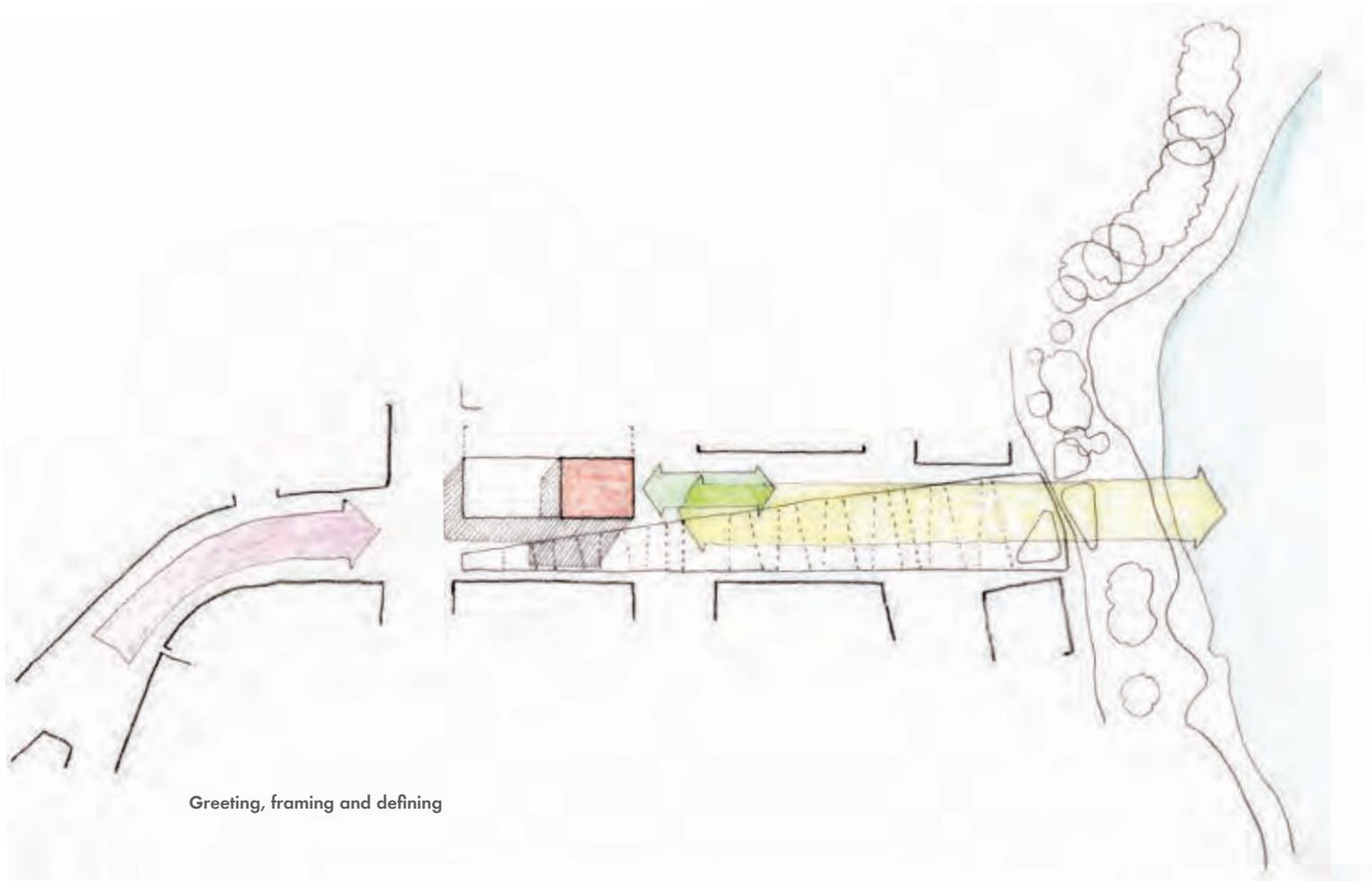
Communications provided in the form of 1No 90mm. Dia BT duct and 1No 90mm. Dia Virgin Media duct per unit.

Fire interface units provided to enable reporting back to Landlords.

All residents will be required to take their refuse to the ground floor refuse store. The refuse store is at close reach from the core and has been designed to the London Borough of Barnet Note on waste management. A series of euro bins (each with a capacity of 1,100 litres) and 240 litres bins will provide segregated handling where possible for household waste and mixed recycling.

On collection days, where required, BRAM on site management team will take the bins to a collection area on East Street, or Perryfield Way in the interim, in readiness for Barnet waste collection services.

Refuse stores for commercial units will be provided as part of the individual fit outs. Occupants will be responsible for moving their refuse to an agreed location for collection by Barnet waste services on designated collection days.



Greeting, framing and defining



## BLOCK H3+4

### 5.17 INTRODUCTION

Lying at the heart of the West Hendon Masterplan designed by Allies and Morrison, Block H makes a link between the road and the reservoir, reinforcing and responding to the magnetism of the water.

Block H contains 76 market homes – a mix of one bed and two bed apartments.

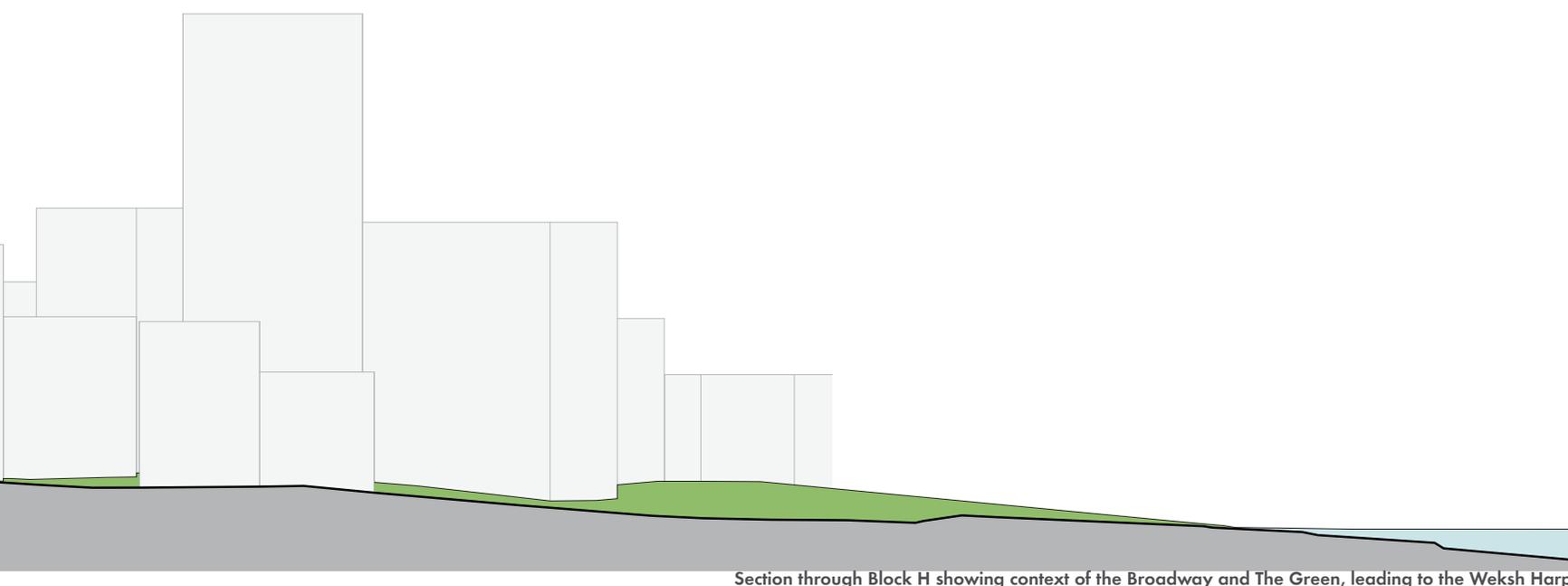
At ground level it has a supermarket facing Northeast onto West Hendon Broadway and a second retail / café unit facing Southwest onto The Green. These units will be built to BREEAM good standard. Between these units is the residential entrance.

The upper parts are divided into a lower portion, with three floors and an upper portion with ten floors above ground, with a communal garden at roof level.

### 5.18 ARRIVAL AND TRANSITION

The ‘surprise’ of the Masterplan is to open up a great public space, stepping down from the Broadway, right to the water’s edge. This is reinforced by the volume and composition of Block H.

Block H greets visitors as they arrive from the Station; it frames Broadway Place leading down to the reservoir; it rises up and reaches out - not only to enjoy the South- westerly outlook but also to form a positive end-stop to The Green as seen from the bottom of the hill.



Section through Block H showing context of the Broadway and The Green, leading to the Weksh Harp



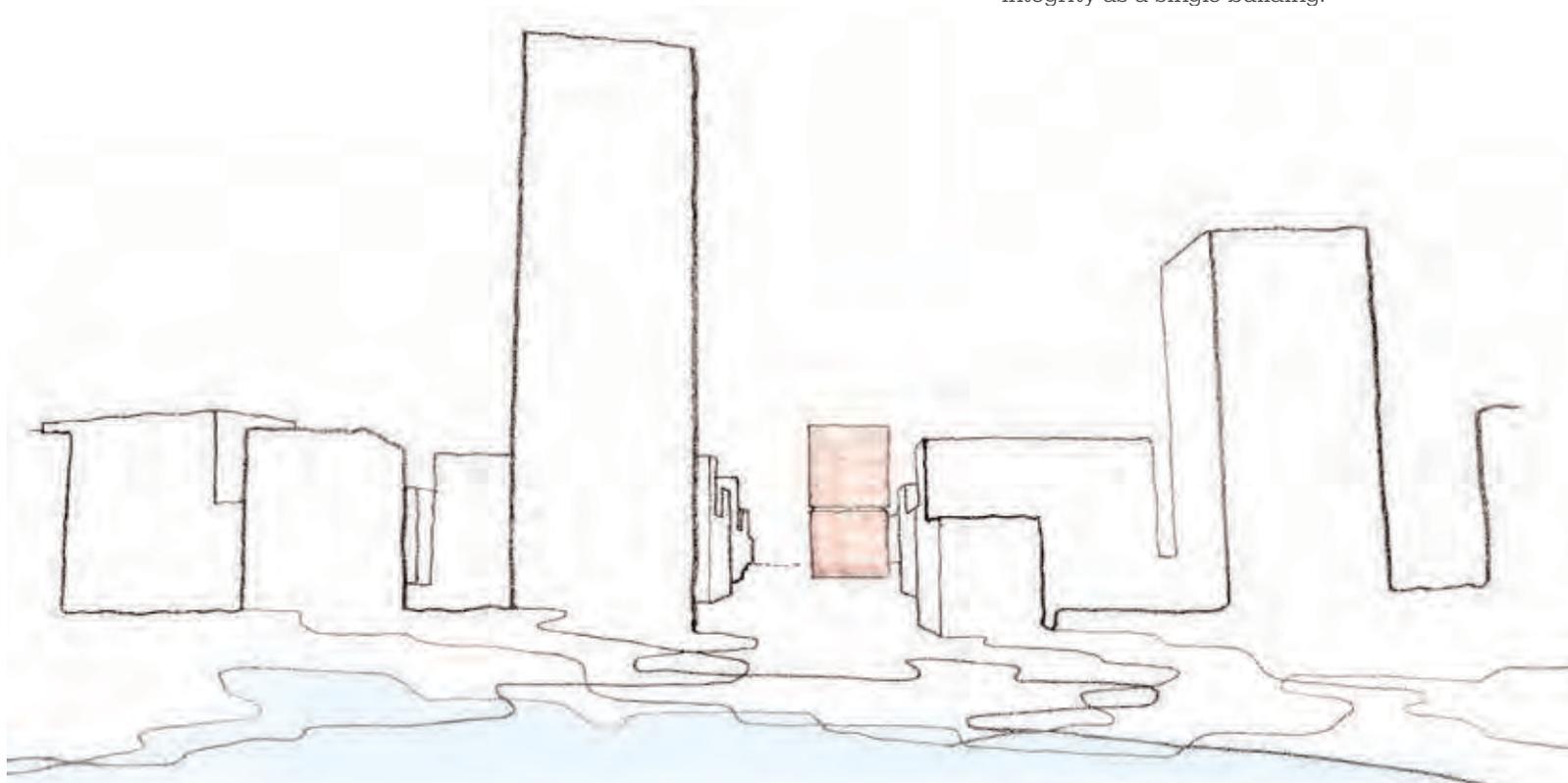
Defining The Green

## 5.19 STRATA AND CARVED FORM

Block H has a strong horizontal order – Base, Middle and Top. On the water side the ‘top’ steps up to form a tower; a local landmark at the centre of the Masterplan.

In forming Block H, a simple adjustment has been made to its volume as set out in the masterplan, enhancing its relationship with the Welsh Harp. The tower portion steps out to create deeply framed balconies, as if carved from a solid masonry block.

This way it responds to the essential characteristic of the site, and breaks down the overall mass of the building into parts, whilst also retaining its integrity as a single building.





North-east elevation



North-west elevation



South-west elevation

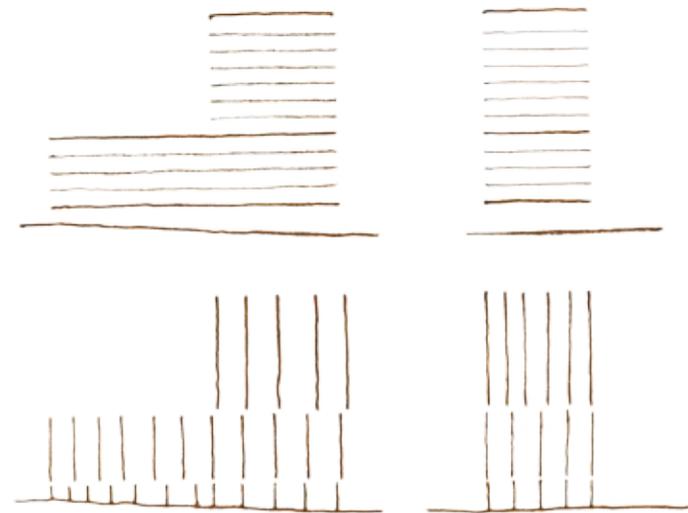
## 5.20 RESPONSIVENESS

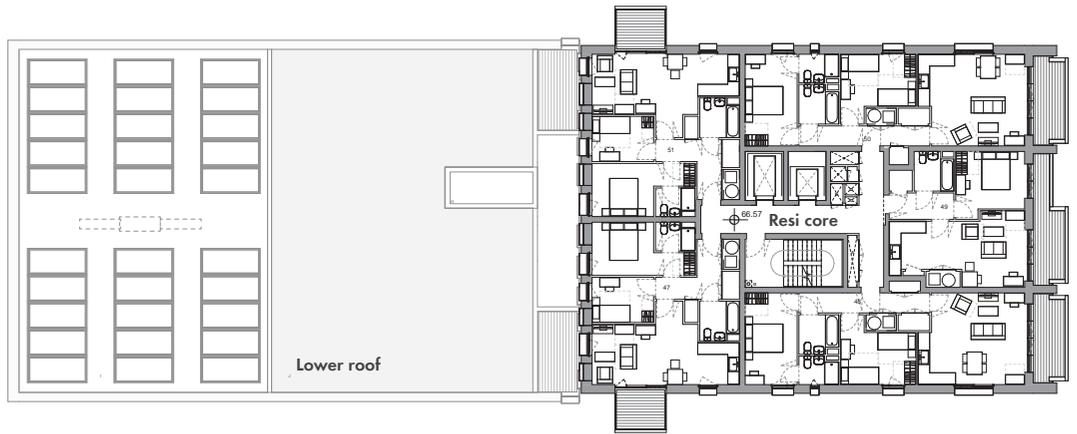
The transition from the busy street to the quiet water-side is reflected in the character of the facades of Block H and the orientation of its windows and balconies. Each frontage differs in response to its context, both to optimise the quality of interiors and to set-up positive dialogues with the surrounding buildings and spaces.

The frontage to the Broadway – learning lessons from some of the Nineteenth Century buildings close by – has a fine grain and enjoys the richness of a brick façade modelled in two layers; an outer frame and a back plane.

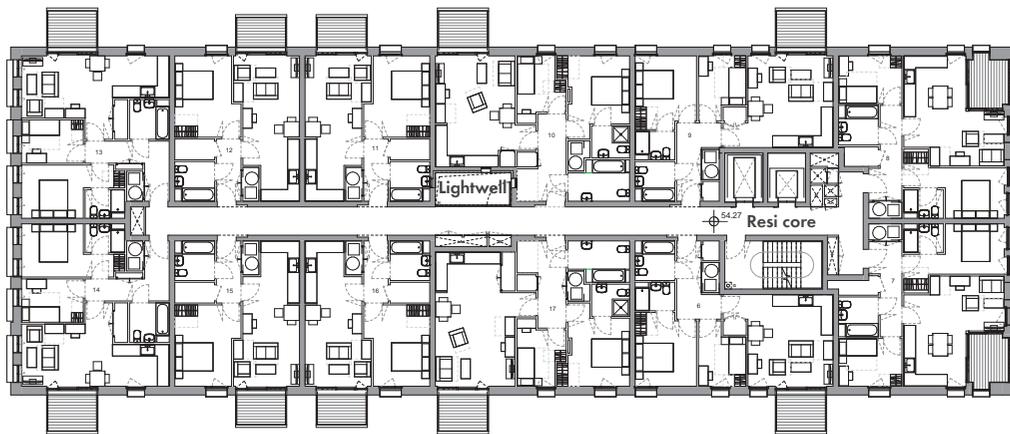
The side façade onto Broadway Place is a simple wall, with deep window reveals and bold projecting balconies.

The frontage to the Welsh Harp is characterised by deep-set, full width balconies; enjoying the view and the sunny exposure to the maximum.

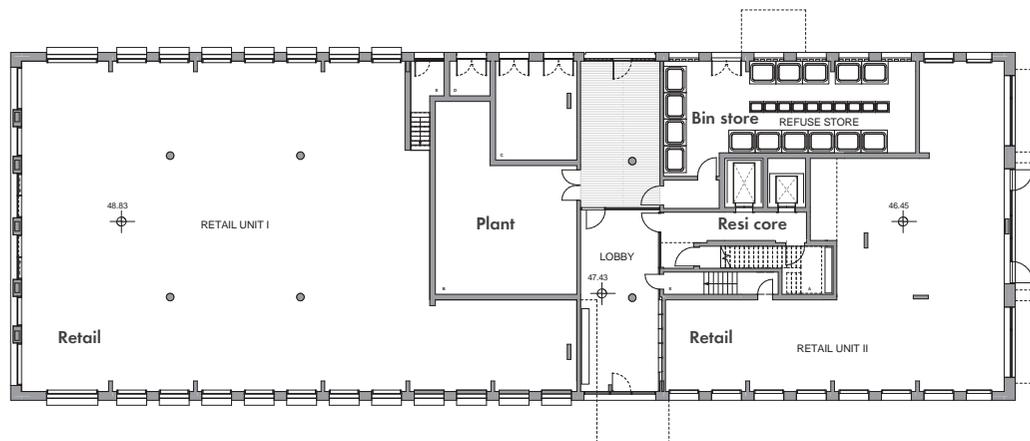




Typical tower floor plan



Typical floor plan



Ground floor

## 5.21 LAYOUT

Block H contains 76 market homes – a mix of one bed and two bed apartments.

The ground level is arranged with two retail units; a local supermarket on the Broadway, and a café / restaurant unit looking towards the Welsh Harp. The levels step down as the land falls to the Southwest, allowing for a mezzanine level of apartments above the café. Between them runs the residential entrance in the form of a gated passageway passing through the building.

The upper parts are divided into a lower portion, with three floors and an upper portion with ten floors above ground, with a communal garden at roof level.

The land slopes down from the Broadway by 2.5m.

To the rear, on Perryfield Way, the bin stores and plant areas are located, with a drop off zone for retail deliveries.

The residential entrance lobby is arranged off the passageway, giving access to a core with two lifts which run up through the taller part of the building to the communal garden on the roof.

The residential units comprise 24 one-bed units and 52 two-bed units. 41 units are located in the lower section and 35 are in the tower.

On the first to third levels of residential accommodation, units are arranged around a hallway with a top-lit lightwell, bringing sunlight and air into the heart of the block.

The lower roof is arranged with a green/brown roof area around the lightwell, a screened plant zone with potential for photovoltaic panels towards the Broadway and two small private terraces for the adjacent corner units.

The Roof garden is arranged over the entire top floor. It offers the best views towards the reservoir, looking down the central landscaped spine of the masterplan.

All units also have a balcony or terrace for private amenity space. The majority are dual aspect and there are no north facing single-aspect units.



## 5.22 HOME



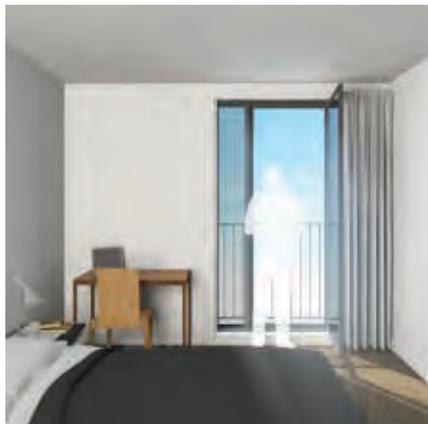
The purpose of this building, and all the buildings proposed in Phase 3B+C, is to make good homes which people will love; making the most of their exceptional location.

The idea of 'home' extends from the privacy of the living room to the buzz of the street, the journey to and from work, the patterns of day and night, weekday and weekend. Indeed Block H engages with the street, and the new public spaces created by the Masterplan, in a most positive way; offering a welcoming public face to the Broadway and spilling out onto The Green to create a focal point for community.



Individually, each dwelling not only enjoys generous balconies, all of which have views of the reservoir, but collectively they share a roof garden; which crowns the sculptural spaces carved out of the Southwest façade.

This building celebrates the value of indoor / outdoor living as an antidote to the harsher aspects





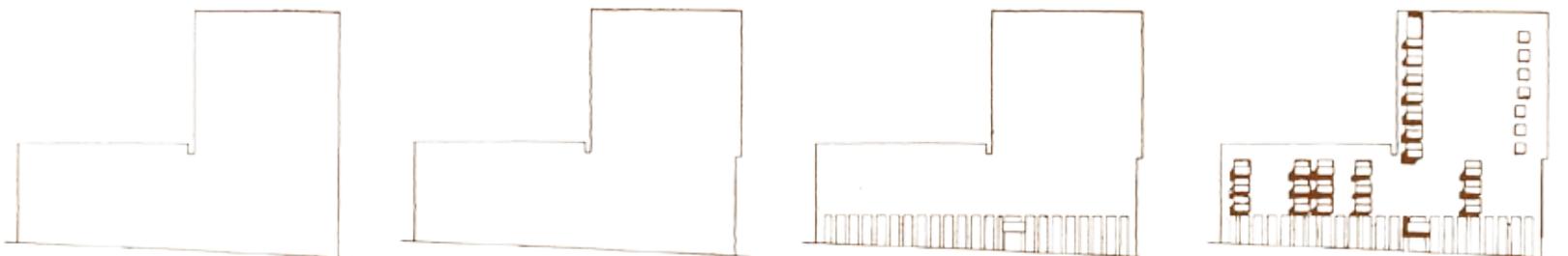
Anchoring the masterplan

### 5.23 SCALE AND MASSING

Building H3/H4 is an anchor within the masterplan. It also mediates scale; from the 'high street' scale of the Broadway to the expansive scale of Broadway Place, falling towards the Welsh Harp and surrounded by larger buildings which form strong edges and clearly defined public spaces.

Its stepping form addresses the long view at the scale of the landscape.

The form comprises two heights; each made up of a flat-roofed form with parapets. The lower is at +65.35m and the upper at +87.40m. Only the core rises slightly above this maximum parapet height to allow for full lift access to the roof amenity space.





Afternoon sun grazing the building

## 5.24 APPEARANCE

### Character

In the spirit of the Masterplan, H3/H4 aims to work in harmony with neighbouring buildings and the surrounding context, whilst being distinct in relation to its particular location.

Its character is simple and solid, with elements of richness held within a robust whole.

The Broadway frontage sets up a dialogue with the Victorian brick buildings along the street, being made up of trabeated layers of brickwork, offset with white cills.

By contrast the side facades are simpler and the Welsh Harp frontage is more flamboyant.

### Grain

It has a strong sense of grain: end-grain facing the Broadway and the Welsh Harp, long-grain onto Broadway Place and Perryfield Way. The 'end-grain' manifests itself in a double layered frame of brickwork, deepening as the facade steps out to the Southwest. The 'long-grain' facades are plain walls with deep-cut openings, from which project cantilevered concrete balconies.

### Rhythm, Hierarchy, Composition

The facades directly reflect the natural hierarchy of the unit mix and the internal plans, each one is optimized in its own right, in terms of internal layouts, window locations and daylight.

The composition of facades arises directly from the plan. The natural rhythm of windows responds to room locations, to optimize light and views. Window sizes vary depending on room sizes.

A 'base beat' for the facades is established by the structural grid, which is intensified on the two long facades with a strong rhythm of vertical bays.

### Proportion

The base of the building is established by a clear strata line at first floor level, held by brick piers, tightly spaced to the side facades and wider spaced to the ends.

The middle portion is divided into two parts by the step in height, each having its own layout to suit the plan.

The topmost openings are stretched, rising up to the parapet zone; framing views from the roof terrace, and terminating the overall form.

### Depth

In keeping with the masterplan guidelines, brick reveals are deep.

They are complemented at every opening by strong projecting white concrete cills which 'stitch' across the facades as a unifying element.

In the case of balconies, the concrete motif is extended to form a cantilevering L-shape which, in combination with reveals and cills, creates a rich effect of light and shadow as the sun moves through the day.

### Windows

Typical bedroom windows have 'Juliet balconies', giving a strong indoor / outdoor feel to all the internal spaces. This has the additional advantage of enabling all windows to be cleaned from the inside.

Living rooms enjoy sliding doors opening out onto balconies which are sized to allow for a table and chairs; enabling the life of the interior to spill outside when the weather is good.



Approach from the station

## Material

The architectural language of Block H balances richness and solidity. Block H3/H4 is made of two tints of brick – one pink to reflect the Broadway and one buff picking up the main tint of the Masterplan. They are laid in alternate courses to make a soft stripe, creating a harmonious relationship with the surrounding context, and giving a richness to the overall form which reveals itself as one comes closer.

## Details

The front entrance is distinctive, being marked by a glazed lobby which also forms a route through the building. Above this one of the brick balconies hovers as part of a ‘sculpted’ composition which cuts in with a double-height space to announce the entrance passage.

To the rear, the brickwork forms an open-work wall to ventilate the supermarket plant and the refuse stores. These differences between front and rear, albeit both facades have residential units above, strengthen the hierarchy of the design.

The cladding to the mezzanine apartments, held within the double height portals of the building’s base, is of pre-cast concrete, to extend the language of the balconies and the cills and to remain secondary to the primary proportions of the main brickwork.

Where the building meets the ground, strong concrete bases step out to form benches. These respond to the fall of the ground to engage with the ground plane and positively address the public space of Broadway Place.

Retail signage is dealt with as an integral part of creating an active and responsive base for the building.

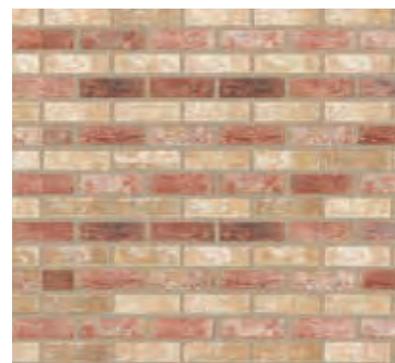
Windows are generous, with doors opening onto ‘Juliet balconies, giving all rooms the opportunity to open up when the weather is good. Window reveals are deep; enlivened by strong projecting cills. The cills are made of the same pre-cast concrete as the balconies which cast deep shadows as the sun moves through the day.

## Ornament

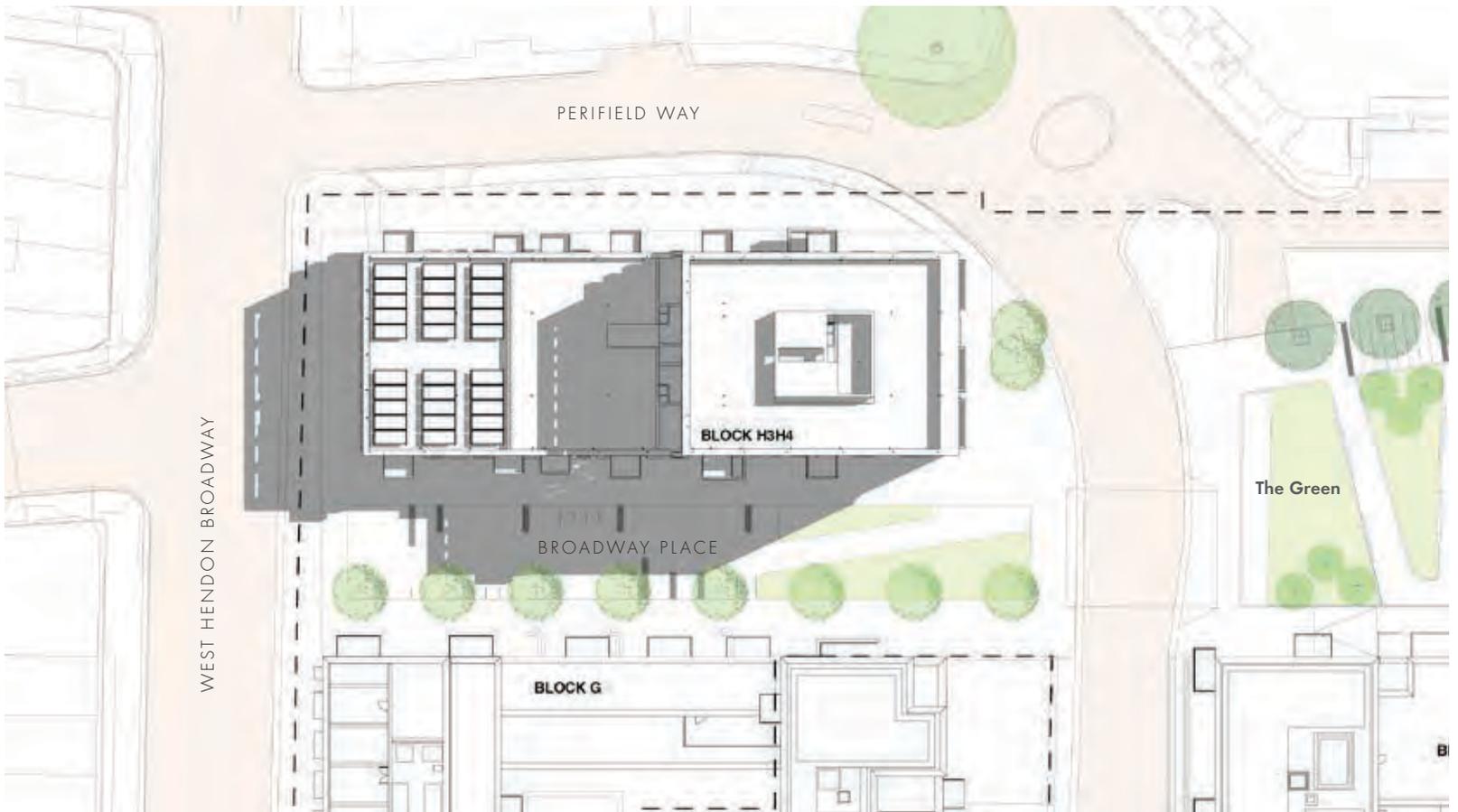
Themes of migration and flight run deep in the area of the Welsh Harp Reservoir. The West Hendon masterplan, and the design for Building H3/H4, reflect the importance of bird-life to this unique place.

This has led to a ‘narrative pattern’ being created; based on the flight of the Brent Goose, one of the migratory birds well-known at the Welsh Harp; to be used in low-relief, cast into concrete, on the balcony fronts and soffits, facing onto Broadway Place.

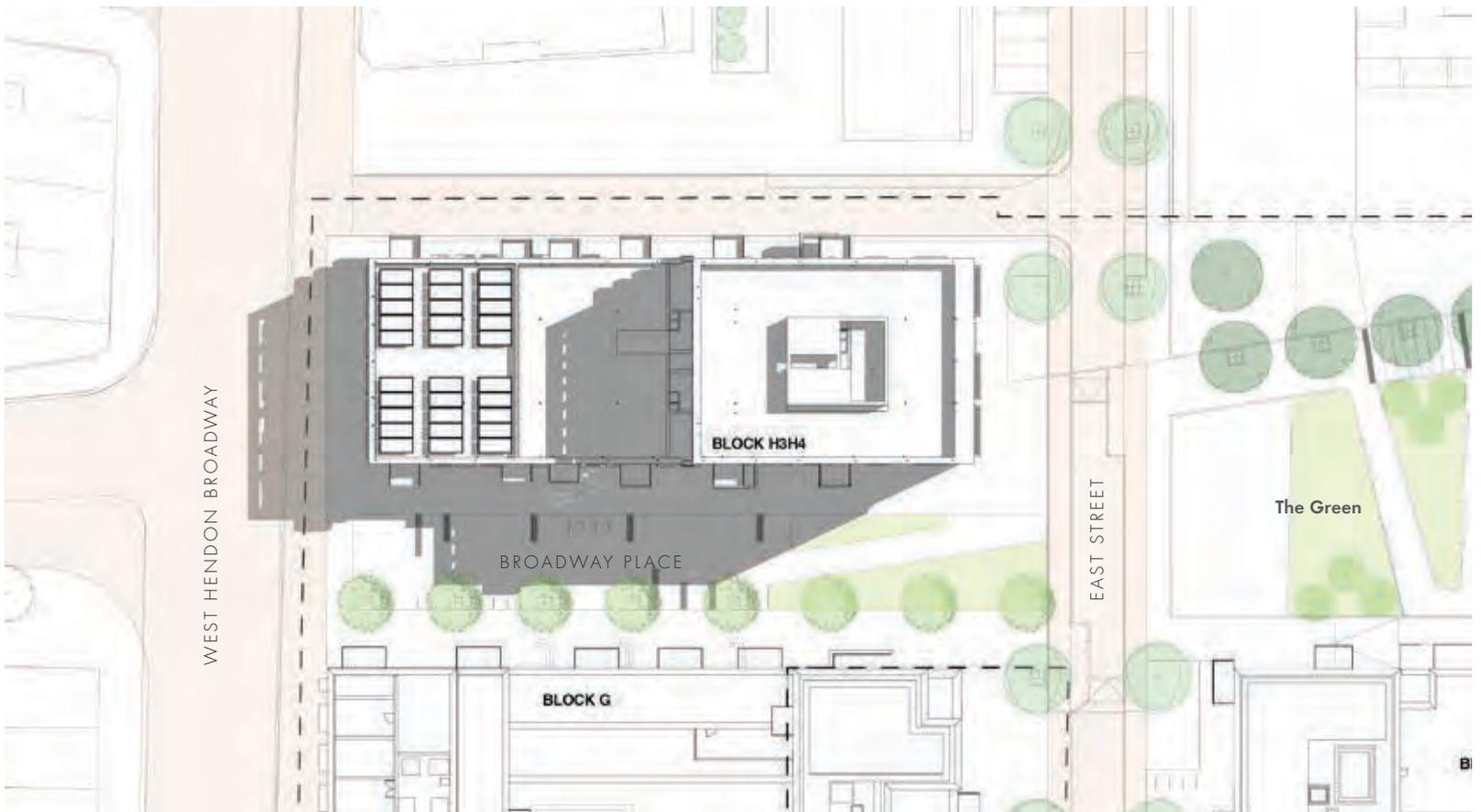
This pattern will be found again in the entrance lobby in the form of a tapestry and potentially may be used for other detail design features. A layer of ornament and narrative such as this will help to build connections at many levels between the building and the community of people who live in and around it. It also reinforces the sense of connection between the design and its context; both natural and man-made, both past and present.



Brick combination: Cambridge Cream and Kenilworth Antique



Interim site plan



Proposed site plan

## 5.25 PUBLIC REALM AND AMENITY SPACE

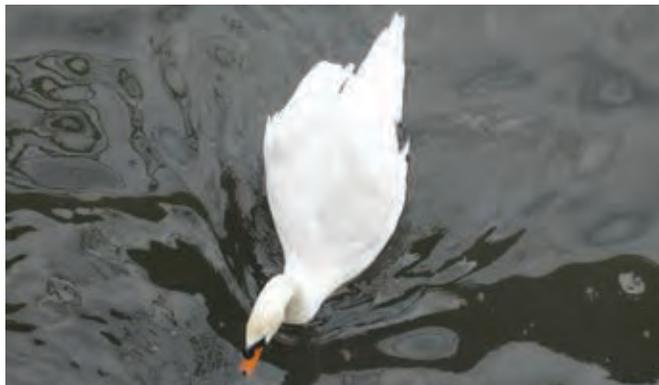


Leading pedestrians from the high street down to the Welsh Harp, Broadway Place is a linear park that facilitates this transition. The entire length of H3H4's North-West facade interfaces with this space. Having the residential entrance located centrally makes Broadway Park the main approach for residents. The two retail units only share an indirect relationship with Broadway Place. Visual connections between inside and outside as well as series of integrated benches at the base of each window bay add to the animation of the park. Facing onto The Green, the lower retail unit is ideally located to become a fantastic cafe or similar serving the community.



The building's shared amenity space is located on the roof of the building featuring 360 degree views across the site and direct outlook onto the Welsh Harp. Besides hard landscaping the design envisages lawn type landscaping for residents to enjoy.

The space located to the south east will be dominated by the existing Perryfield Way in the interim masterplan phases until Phase 4 brings its changes to the road network.



That transformation will turn this space into a great functional zone. The remaining connection between the A5 and East Street will not carry any through traffic, it's primary purpose is to allow access to existing properties as well as servicing for the building and retail units

## 5.26 SERVICES STRATEGY

### Mechanical Services Overview

#### Incoming Supplies

The building will be served with heat for heating and hot water from the local site-wide district heating system. The building will be provided with a plate heat exchange plantroom at lower Ground floor level to hydraulically separate the building system from the site wide distribution.

A new Mains Cold water supply is provided, adequately sized for the building and as approved by the water board.

A potable combined cold water storage and sprinkler tank and booster set shall be provided within a dedicated plantroom at Ground floor.

#### Residential

A Heat Interface Unit to generate heating and hot water (with HIU storage cylinder) will be provided to each apartment. Heating shall be via radiators and shall include a wet towel rail in the bathrooms and ensuite. A heat meter shall be provided within the HIU to enable energy billing via the appointed billing company.

Mechanical Ventilation Heat Recovery (MVHR) will be provided for supply air to all habitual rooms and extract air from bathroom, ensuite, cloakroom and kitchen/utility areas.

No mechanical cooling is provided to the apartments. Mechanical cooling may be required to the common corridors connected to the glazed courtyard light well (with external plant space allocation at roof level for DX heating/cooling plant).

Potable boosted cold water will typically enter each apartment within the ceiling void above the front door from the common landlord area and drop to a stop cock in an accessible location and then back up to high level ceiling for primary distribution. A water meter shall be billed direct by the water authority and located within the boosted cold water riser cupboard.

Apartments shall be provided with residential sprinklers fed off the boosted water supply – subject to confirmation by the Fire Engineer.

Above ground drainage will be HDPE within the residential units, with acoustic treatment as necessary. The common corridors will be provided with mechanical smoke extract.

Mechanical environmental extract will be provided to common corridors via the smoke extract ventilation shaft. Make up air will be via the stair core and roof mounted AOV at head of stairs.

#### Commercial

Shell and Core commercial areas are to be provided with the following:

A valved, capped-off and metered connection to the communal heating system - for future extension by the tenant.

High level supply and extract louvres around the perimeter of the unit will be provided for future fit out by the tenant of a mechanical ventilation system.

Space allocation within the First floor plantroom and at roof level for VRF/DX type heating and cooling plant and retail unit refrigerant cabinet condensers.

A metered Mains Cold water supply direct from the site wide network.

A metered gas connection (for cooking only) to each commercial unit sized to A3 type usage.

Riser allocation accessed via the residential communal corridor to roof level for kitchen extract ventilation. Space allocation at roof level for kitchen extract fan.

## 5.27 REFUSE STRATEGY

### Electrical Services Overview

Incoming Supplies

Substation to be constructed within the Ground floor in line with UKPN requirements.

Generator to be installed if required, to cover any secondary supply requirements.

Communications housed within dedicated comms room incorporating BT/Virgin/Other services.

Residential

Residential units are to be provided with the following:

Electrical meters (billed direct by provider) housed within the risers.

BT service (one line per dwelling – Fibre Optic intake if possible) provided.

IRS service provided to lounge via multi-grid outlet and to master bedroom via magic eye link.

Commercial

Shell and Core commercial areas are to be provided with the following:

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