

WEST HENDON
PHASE 3B+C
RESERVED MATTERS

DESIGN AND ACCESS STATEMENT

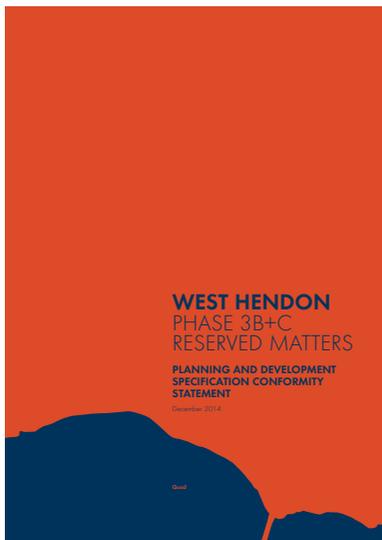
December 2014

Allies and Morrison

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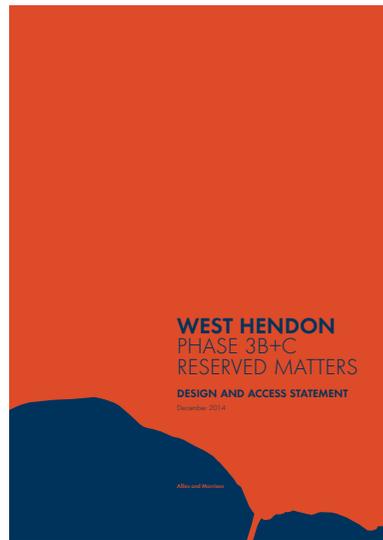
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Planning and Development Specification Conformity Statement

- Application Form
- Covering Letter
- Planning Application Fee
- Planning and Development Specification Conformity Statement
- Application Boundary Plan
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- Transport Statement
- Daylight, Sunlight and Overshadowing Analysis
- Statement of Community Involvement



Design and Access Statement (DAS)

- Design and Access Statement (DAS)
- Accommodation Schedule
- Detailed Design Landscape Drawings



Drawing Schedule, Drawings and Accommodation Schedule

- Drawing Schedule, Drawings and Accommodation Schedule

Summary of planning application documents for outline and detailed planning application

1 INTRODUCTION

1.1 FORM OF THE APPLICATION

This Design and Access Statement (DAS) has been prepared by Allies and Morrison Architects on behalf of the developer Barratt Metropolitan Limited Liability Partnership (BMLLP). This document is in support of a reserved matters application to London Borough of Barnet, seeking approval for the next phase of development, Phase 3B+C, at the West Hendon Estate in London Borough of Barnet, north-west London.

This document begins with a description of the context, design objectives and proposals which informed the consented development that was granted outline/detailed planning permission in 2013

This application seeks permission for 3 residential blocks (Blocks F, G4 and H3/4), consisting of 6 buildings, with 298 residential units of mixed tenure, commercial units along the Broadway and at the gateway to the site, and a large area of Public Park that will connect the Broadway to York Park and the Welsh Harp.

The design proposals outlined in the “detail scheme” section of this document illustrate how principles of the masterplan have been incorporated into the detail design for this. The masterplan established a framework within which Allies and Morrison Architects (Blocks F and G4), Makower Architects (Block H3+4) and Gillespies (Landscape Architects) have developed high quality, diverse

and appropriate design proposals for the site. These principles are described in the parameter plans and design guidelines which were approved as part of the outline planning approval.

The principles already established and implemented in this proposal demonstrate the client’s commitment to developing a high quality scheme for West Hendon.

The statement forms part of a suite of documents which support the reserved matters application. The DAS explains the design and access principles which have been applied to the development.

The illustrations in this Design and Access Statement, where these relate to the outline application, are consistent with the Parameter Plans but are presented as illustrative for information purposes only. Illustrations relating to the reserved matters application are also illustrative and for information purposes only. This Design and Access Statement (DAS) refers to approved Outline Planning documents:

- WH2.1 Design and Access Statement (DAS)
- WH2.2 Design Guidelines
- WH2.3 Planning Application Boundary
- WH2.4 Outline Application Parameter Plans



West Hendon
Playing Fields

Hendon Station

West Hendon
Estate

BROADWAY (A5)

COOL OAK LANE

Welsh Harp
(Brent Reservoir)

Aerial view of the West Hendon Estate and surrounding context

1.2 PURPOSE OF THE DOCUMENT

The format and content of the Design and Access Statement has been based upon the guidance developed by CABE in their publication “Design and Access Statements – How to write, read and use them” and The National Planning Practice Guidance.

The document is arranged in three broad sections which cover Site Context and Analysis, Design Objectives and Proposed Scheme supported by the Access Statement.

Site Context and Analysis: Setting out the site constraints and opportunities which have guided the approved outline design proposals for the masterplan.

Design objectives and evolution: Describing the project objectives, consultation and the evolution of the approved masterplan design.

Approved outline scheme: Describing the illustrative masterplan and the key principles underpinning the design which informed the Parameter Plans.

Proposed Scheme for Reserved Matters application: Describing the detailed design principles and proposals of the design.

Proposed Landscape Design: Describing the key principles and proposals of the landscape design and the public realm for the Reserved Matters application.

Access Statement: Focusing on the provision for access to the development and wheelchair housing and principles applied to the reserved matters application.

Given the nature of the site and the various requirements for decant and viability, the illustrative masterplan for the site seeks to ensure each reserved matters application is based on a deliverable and viable scheme.

 masterplan site
 site of special scientific interest

1.3 DESCRIPTION OF THE DEVELOPMENT

The outline/detailed planning application received permission for a residential-led mixed-use scheme including up to 2000 residential units, a two form entry primary school with nursery, a community centre and commercial space along with associated parking provision, highways works, public realm proposals and pedestrian bridges across the Silk Stream and Cool Oak Lane. The residential units are mixed tenure and 25% of the housing provided will be affordable. A full description of the development can be found in the Development Specification contained in the documentation for the original outline application.

The reserved matters application for Phase 3B+C seeks permission for the layout, scale, appearance, landscape and access to buildings F, G4 and H3+4 with a total of 298 residential units of which 114 are affordable, some ground floor commercial uses and a new landscaped public space leading from the Broadway to the Welsh Harp.



Phase 3A

Phase 3B+C

Phase 3A

- Phase 3A
- Phase 3B + 3C



Illustrative Masterplan showing Phase 3A,B,C



Proposed view from Station Road looking towards the Welsh Harp



1.4 A VIBRANT NEIGHBOURHOOD

The objective of the Proposed Masterplan Development is to secure the regeneration of the West Hendon Estate by transforming what today are an unappealing group of buildings and disconnected external spaces into a thriving and cohesive neighbourhood. Whilst this involves responding to a range of complex issues three straightforward aims drive this vision:

Make an enjoyable place to live

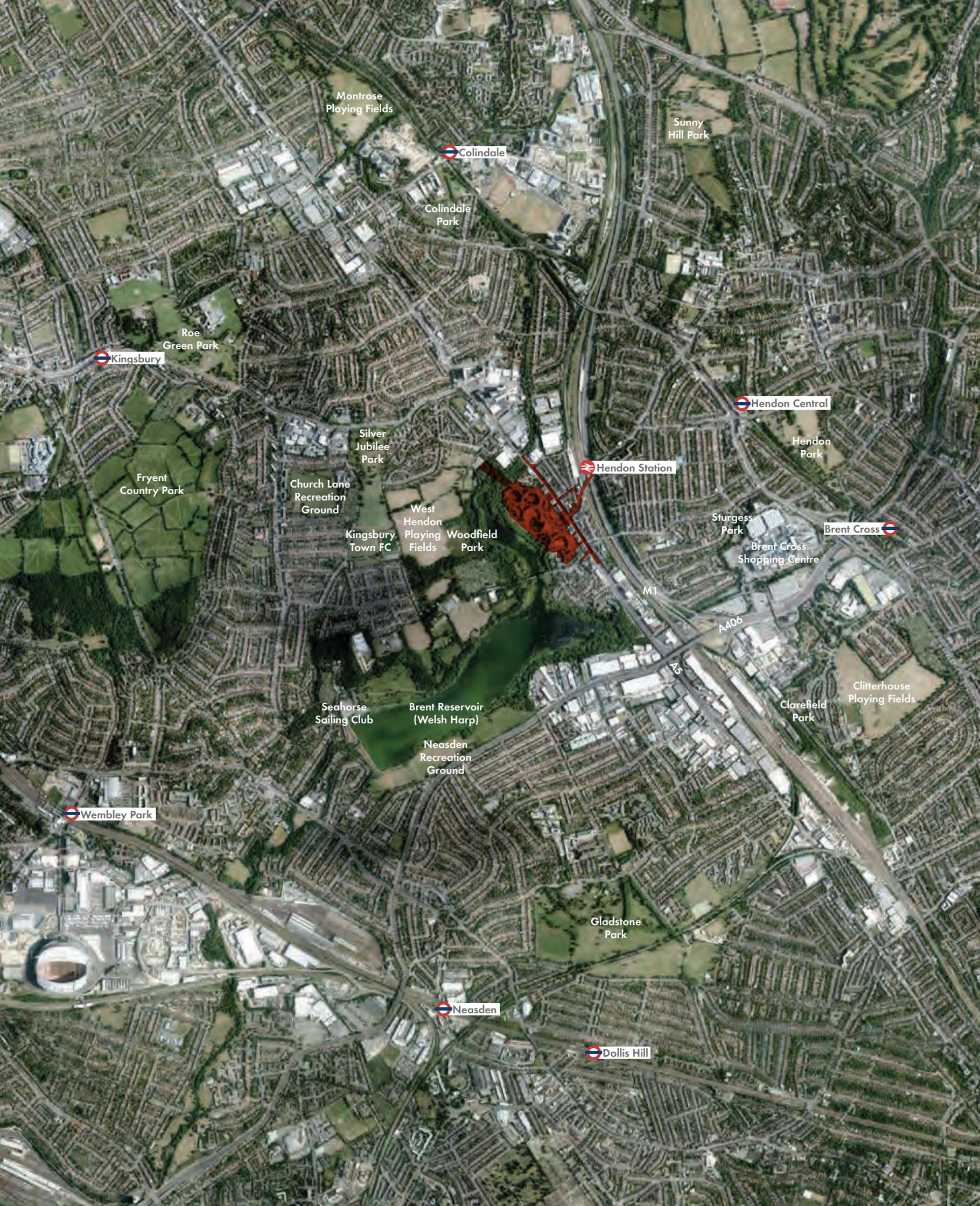
Integrating with its surrounding context the new neighbourhood will create enjoyable places to live where people want to stay by providing significant benefits including public parks, play spaces and community facilities as the setting for new high quality homes. The development creates new routes to link existing public open spaces and streets around the site. The people taking up the homes will bring valuable custom to support and sustain local business on the Broadway (A5). This in turn will also build a vibrant and sustainable community.

Re-establish connections

The redevelopment of the West Hendon Estate offers the opportunity to re-establish a clear visual connection between the site and with a major natural asset the Welsh Harp (Brent Reservoir) whilst respecting its ecology. The proximity of rail and bus services means that the site is well connected to other parts of Barnet and central London. This accessibility when considered in combination with the potential to improve the route to and from Hendon Station makes the site ideal for a new high density residential community.

Create a distinct part of London

The proposed new homes together with the generous public parks, new primary school, community centre, pedestrian bridge link to Metropolitan open space and high quality architecture will build upon the early phases of the regenerated West Hendon scheme already completed by BMLLP. This integrated approach to regeneration will transform the West Hendon Estate into a thriving and sustainable neighbourhood. It will be integral to London but with its own distinct character related to its urban and natural setting adjacent to the Welsh Harp.



Montrose
Playing Fields

Sunny
Hill Park

Colindale

Colindale
Park

Roe
Green Park

Kingsbury

Hendon Central

Silver
Jubilee
Park

Hendon
Park

Fryent
Country Park

Church Lane
Recreation
Ground

Hendon Station

West
Hendon
Playing
Fields

Woodfield
Park

Sturgess
Park

Brent Cross

Brent Cross
Shopping Centre

Kingsbury
Town FC

M1

A406

Seahorse
Sailing Club

Brent Reservoir
(Welsh Harp)

Clarefield
Park

Clitterhouse
Playing Fields

Neasden
Recreation
Ground

Wembley Park

Gladstone
Park

Neasden

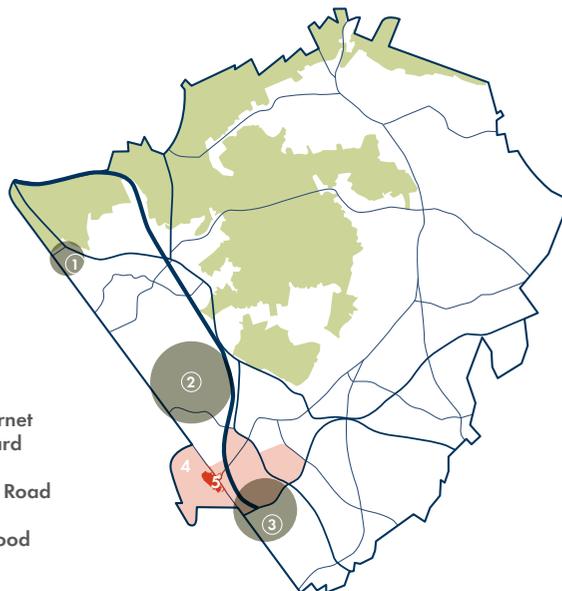
Dollis Hill

2 SITE CONTEXT

2.1 STRATEGIC CONTEXT



Location of West Hendon Ward within London Borough Barnet



Regeneration areas in Barnet and the West Hendon Ward

- 1 Stonegrove and Spur Road
- 2 Colindale
- 3 Brent Cross/Cricklewood
- 4 West Hendon Ward
- 5 West Hendon Estate

West Hendon Estate is located on the south western edge of the London Borough of Barnet (LBB) in North West London. The West Hendon Estate is a site identified by LBB for regeneration as a high density development. Other clusters of higher density developments in key regeneration areas are at Stonegrove and Spur Road, Colindale and Brent Cross/Cricklewood. Barratt London has commenced the redevelopment of Stonegrove and Spur Road and therefore has a particular understanding of working within LBB.

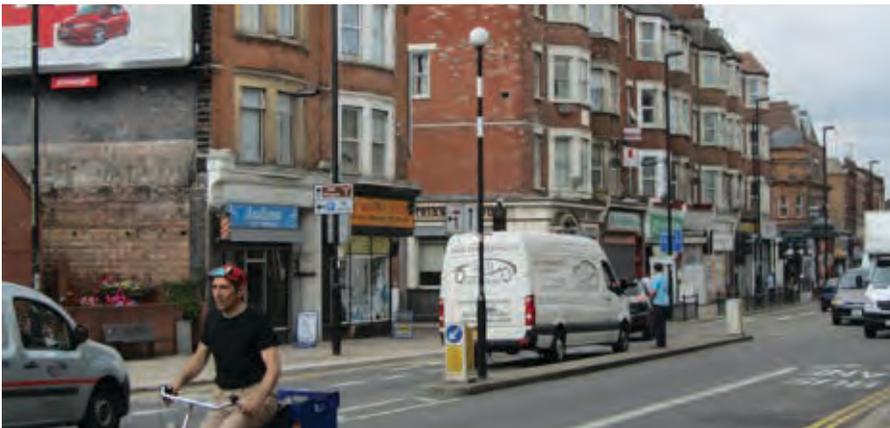
The strategic and historical development of Barnet has been characterised by its topography, geology and transport routes. Historically these factors have led to settlements being located in parts of the borough with higher points including Hendon, to the east of the site, whose historic core is located on a hill. This pattern of development was also driven by the local geology which is characterised predominantly by clay soil and is difficult to cultivate and drain in the lower lying areas. However, the areas of high land in the borough expose gravel or sandy silty material which is easier to build on. The earliest roads connected key settlements between these high points. Construction of the railways and advances in building technology led to the development of the areas around the historic settlements and railway stations on lower ground within the borough which is where the West Hendon Estate is located. The site is located on the edge of the Brent Reservoir, known as the 'Welsh Harp' named after a now demolished local public house. Whilst the Welsh Harp is no longer a functioning reservoir it is still of strategic importance as the reservoir and surrounding area is designated as a SSSI (Site of Special Scientific Interest) for the ecology which the water body supports.

The London Borough of Barnet is well connected with an extensive road and rail network. The M1 motorway provides access to the north whilst the M25 and A1000 provide access to Central London. The overland and northern line serve the borough with links to central London. The site is located near Hendon train station with a frequent service to King's Cross (15 minutes journey time) and is also located on the Broadway (A5) where there are links to the North Circular (A406) and four main bus routes.



Aerial photograph showing site boundary

2.2 SITE LOCATION AND CONTEXT



1 The Broadway



2 Welsh Harp



3 Ramsey Close



4 Cool Oak Lane

The West Hendon Estate is a unique site located in the West Hendon Ward and characterised by a set of diverse interfaces at each edge of the site boundary in terms of scale, use and character.

The Broadway

The eastern edge of the site is bounded by the heavily trafficked Broadway (A5) containing a mixture of Victorian and more recent commercial and residential units. The backs of the properties on the Broadway are 3-6 storeys high and in a varying state of condition and repair. Hendon Train Station is located further east on the other side of the Broadway.

Welsh Harp

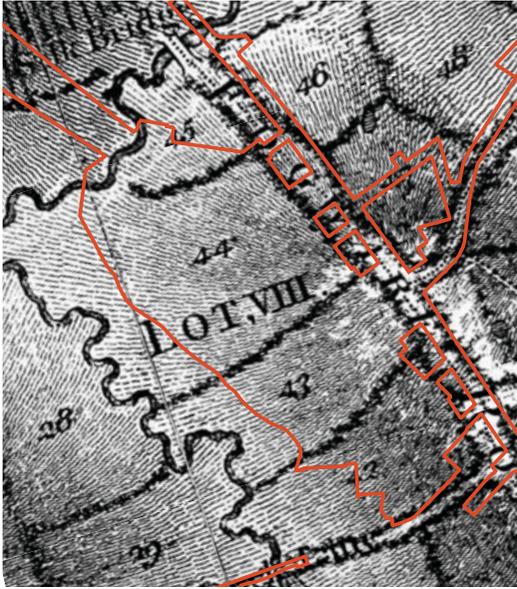
The Welsh Harp (Brent Reservoir) to the west of the site has an important relationship with the Site of Special Scientific Interest (SSSI). The Silk Stream which feeds the Welsh Harp encloses the north-western site boundary. The site looks out across the Welsh Harp towards the West Hendon playing fields and Metropolitan Open Land.

Ramsey Close

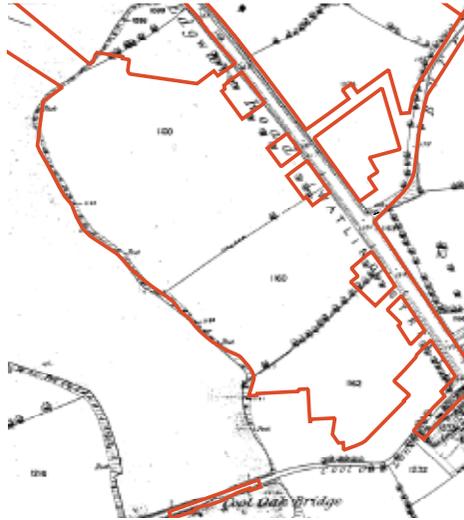
Ramsey Close to the north of the site consists of two storey semi-detached houses built in the 1980s with rear gardens backing onto the site.

Cool Oak Lane

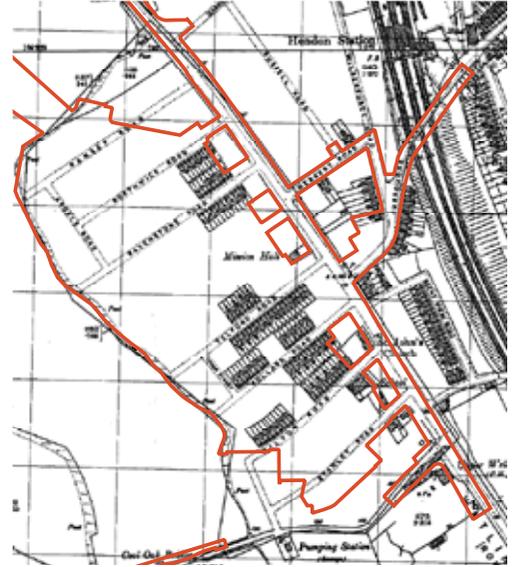
The southern edge of the site is bordered by the rear gardens of the two storey properties on Cool Oak Lane. The new development by BMLLP known as Lakeside (Phase 2) is currently being completed on the south western boundary of the site and forms the entrance to the site from Cool Oak Lane. This follows on from Phase 1 known as the Pilot Houses to the south east of the site.



1796



1865



1896



1914

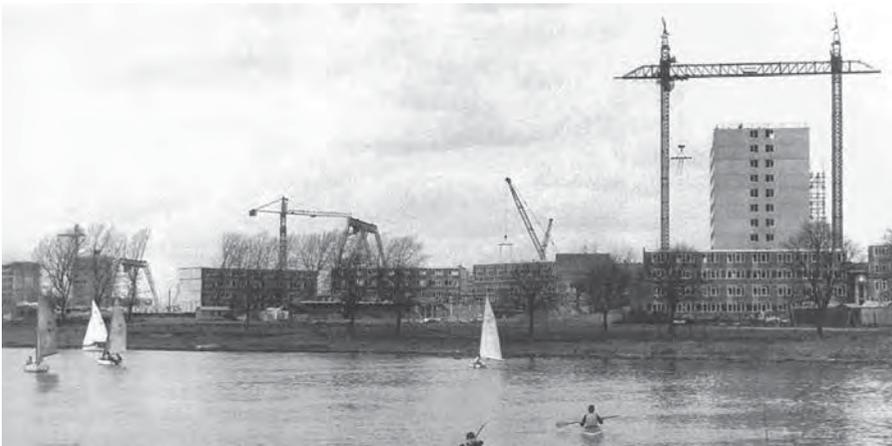


1973

2.3 SITE HISTORY



Aerial photograph looking south across the Silk Stream in 1922



Photograph looking east across the Welsh Harp during the construction of the Estate in the late 1960s



The Old Welsh Harp inn was demolished in 1971 to make way for the Staples Corner flyover

Over the course of two centuries the area around West Hendon has evolved from a rural area with few settlements to the mixture of urban and suburban development that exists today. The area has been characterised by the introduction of significant pieces of infrastructure during this period from roads (M1 and North Circular) and railways to the Brent Reservoir to serve the wider growth of London.

Watling Street

The area was originally settled by the Romans who built the original Roman Road known as Watling Street (the Broadway/A5) as a strategic route connecting London to the North of England. Originally Hendon was a civil parish in the County of Middlesex but the name comes from 'Hendun' meaning 'highest hill'. The remainder of the surrounding lower lying land remained mainly unsettled as the heavy clay soil made cultivation and drainage difficult for agriculture and building.

Rivers and Reservoir

The site to the north and south is formed by the Silk Stream and river Brent respectively. Historically there was a fording point over the river Brent to the south of the site which linked Hendon with Kingsbury. In the 1820s the Regent's Canal was not holding water at the top of the canal in Camden Town. To resolve this issue a reservoir was built in West Hendon by damming the river Brent near its confluence with the Silk Stream. This flooded a large area of low lying farmland to create the reservoir. Later this was bridged over along Cool Oak Lane.

Railway

The construction of the Midland Railway in the 1860s brought additional development around Hendon consisting mainly of terraced houses on what is now the West Hendon Estate. People traditionally took day trips out to the Welsh Harp from central London to take advantage of the open space and would stop for refreshment at the now demolished Welsh Harp public house. The properties on the Broadway are the remaining fragment from this era following bomb damage in WWII and the construction of the estate in the 1960s.



November 2014 - progress on site

2.4 CURRENT PHASE ON SITE



Location of buildings within the detailed planning application

The two blocks developed for the detailed part of the outline planning application (phase 3A) were Building E and Building G1/2. These are located in two areas of the site which after analysing possible locations across the site did not require any demolition work prior to construction of the new buildings.

These locations were chosen to facilitate commencing the scheme but also because they are adjacent to the new public space linking the Broadway to the Welsh Harp.

Building G1/G2 is located to the east of the site on the old location of the Perryfield Way carpark. It occupies the highest part of the site and it will repair and enclose part of an existing urban block on the Broadway. The current location of the Perryfield Way gyratory will become East Street and Building G1/G2 will be located at the intersection of East Street and the new public space leading to the Welsh Harp.

Building E is located to the west of the site adjacent to, but set back from the Welsh Harp. It occupies one of the lower areas of the site, overlooking the Welsh Harp and York Park.

Both these buildings are currently on site and Block G1/2 is due for completion in March 2015. Completion of the lower buildings of Block E 1,3,4 will follow later in 2015 and Block E2 in 2016.





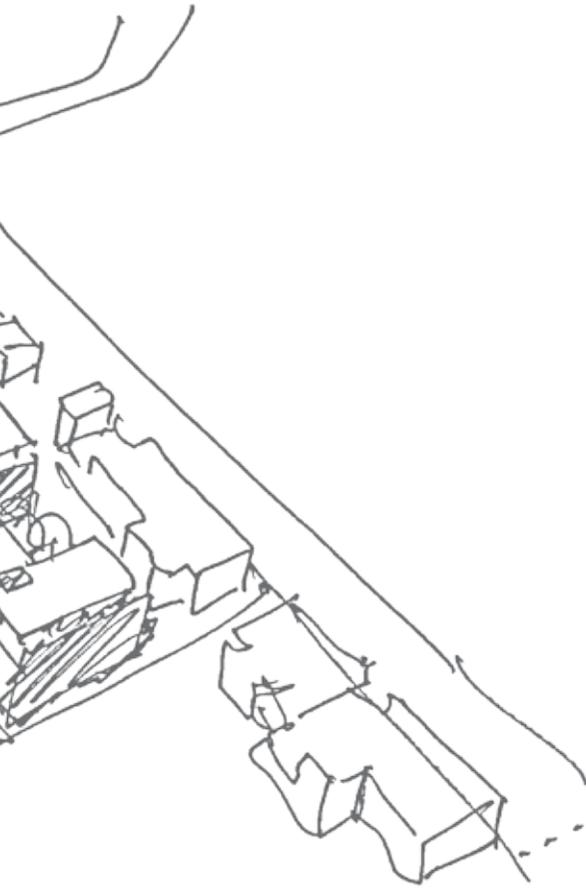
Initial sketch diagram showing ideas for streets and spaces

3 MASTERPLAN: DESIGN EVOLUTION

3.1 DESIGN OBJECTIVES

Through the context analysis and briefing process the following key design objectives for the development were identified:

- **Community:** Phasing and decanting to manage the regeneration of the West Hendon Estate for the existing community.
- **Enhancing links:** Reinforce and enhance the route between the Station and the Welsh Harp and redefine the sequence of spaces along this route.
- **Integrating with the Broadway:** Retain the majority of the Broadway to minimise the cost and disruption of the CPO process and to retain the commercial and social continuity.
- **Welsh Harp:** Set back from the Welsh Harp to respect this edge and to create a new public park. Optimise the number of homes with an aspect towards the Welsh Harp.
- **Creating places:** Allow buildings to form edges to streets and spaces to create a set of diverse places rather than compete for attention.
- **Forming streets:** Restore the street pattern on the West Hendon Estate to make it part of the continuous fabric of the City with buildings and entrances facing onto the streets to provide natural surveillance and activation.
- **Providing homes:** Provide high quality homes with private amenity space and secure shared courtyards with play spaces.
- **Landscape:** Enable increased access to green spaces by connecting the neighbourhood with the West Hendon playing fields with a new bridge and providing new parks as an integral part of the scheme.
- **Identity:** Create a distinctive place with a clear sense of orientation and address.
- **Coherence:** Suggest a consistent architectural language with variations on a theme to create visual richness whilst maintaining a coherent sense of place.





3.2 SUMMARY OF 2013 MASTERPLAN EVOLUTION

| ORIGINAL MASTERPLAN | 2013 MASTERPLAN |
|---|--|
| not financially viable development | financially viable development |
| provision of new public park | provision of a variety of sizes of public spaces across the site so that these are closer to people's homes |
| no visual link to Welsh Harp from the Broadway | opens up a new visual link to Welsh Harp from the Broadway and reinforces the route to Hendon train station |
| no clear link between The Broadway and the Welsh Harp | delivers Natural England aspirations to open up the Welsh Harp to the community as a natural asset |
| road and parking as designed creates a barrier and disturbance between the community and the Welsh Harp | seeks to deliver an integrated interface between SSSI and new community |
| code for sustainable homes level 3 | code for sustainable homes level 4 |
| reliant on the complete demolition of the existing context | cohesive masterplan integrated with the context e.g. existing properties retained on the Broadway where possible |
| Ramsey Close and buildings along the Broadway replaced | reduced impact on existing community through the retention of Ramsey Close |
| new commercial centre replacing existing commercial spaces along The Broadway | more appropriate delivery of commercial floor space in terms of location, bespoke in scale and design. Allows existing business to benefit from growth rather than 100% demolition and new build |
| provision of affordable homes | more balanced and sustainable community. Future reprovision of existing affordable homes but with greater integration with other tenures and uses |
| A5 capacity improvements | the highways modelling results show that the newly proposed highway works will perform more effectively than the previous scheme |
| 1:1 Parking | the new proposals go forward with an overall parking ratio of 0.8 in order to encourage more trips by non car modes. The mixed use nature of the site would also look to encourage trips by foot or cycle |
| improvements in pedestrian accessibility of public transport and cycleway improvements | as part of the new development there will be improvements to the local pedestrian and cycle network |
| new pedestrian and cycle routes and facilities including improved access to Hendon Railway Station and provision of Cool Oak Lane and Silk Stream bridges | the new development proposals continue to ensure that a quality pedestrian route is provided throughout the site and up to Hendon train station. The development will improve pavements along Station Road and crossings over the Broadway (A5). Silk Stream bridge is also to be provided and subject to LPA's priorities for S106 commitments provision for Cool Oak Lane bridge |

Table comparing the features of the original masterplan and 2013 masterplan

The design of the masterplan scheme was informed and evolved through many consultation meetings, presentations and exhibitions within the Borough of Barnet, Greater London Authority, stakeholder and local residents' groups.

From the early strategic proposal of opening up the Broadway to the Welsh Harp, the design developed significantly, taking on board comments raised along the way.

The existing Broadway has been retained and integrated into the scheme and a robust public realm strategy has been developed which integrates the new development into the existing context. The scheme seeks to engage positively with the Welsh Harp, opening up new routes along the edge of this natural asset and providing new neighbourhood parks, as well as linking in with existing open spaces in the surrounding area.



Approved master plan illustrative massing model



Masterplan site model



WILBERFORCE ROAD

RUSSELL ROAD

GARRICK ROAD

HERBERT ROAD

STATION ROAD

THE BROADWAY (A5)

commercial

commercial

Broadway Place

A

B

G

G

RAMSEY CLOSE

community

NORTH STREET

nursery

primary school

C

CROSS STREET

F

The Green

Silk Stream

PROPOSED SILK STREAM BRIDGE

D

E

E

WEST STREET

York Park

Brent Reservoir (Welsh Harp)





4 ILLUSTRATIVE MASTERPLAN

This section includes a summary of the 2013 masterplan as a reminder of the parameters within which the design for the reserved matters scheme for Phase 3B+C has been developed.

4.1 APPROVED 2013 MASTERPLAN

An illustrative outline masterplan was prepared for the site. The process of developing the a large part of the masterplan provided the opportunity to evaluate the architectural character, as well as test the environmental and social implications of the proposals. Therefore development of the illustrative masterplan had an important role in providing a basis for developing the Parameters and Design Guidelines for the development as a whole.

The key design principles that evolved during the course of the design development and consultation process are set out on the following pages.

PROPOSED ILLUSTRATIVE MIX - 75% PRIVATE AND 25% AFFORDABLE

1. Private Units

| FLAT/HOUSE TYPE | NIA FOR EACH FLAT TYPE (SQM) | LONDON DESIGN GUIDE | PROPOSED UNITS | Total NIA (sqm) | UNIT % OF MIX |
|---------------------|------------------------------|---------------------|----------------|-----------------|---------------|
| 1 Bed flat (1B2P) | 50 | 50 | 410 | 20500 | 27% |
| 2 Bed flat (2B3P) | 68 | 68 | 768 | 52224 | 52% |
| 2 Bed duplex (2B4P) | 87 | 87 | 86 | 7482 | 6% |
| 3 Bed flat (3B5P) | 90 | 90 | 110 | 9900 | 7% |
| 3 Bed duplex (3B5P) | 100 | 100 | 110 | 11000 | 7% |
| 3 Bed houses (3B6P) | 115 | 115 | 5 | 575 | 0.5% |
| 4 Bed houses (4B7P) | 127 | 127 | 5 | 635 | 0.5% |
| TOTAL | | | 1494 | 102316 | 100% |

2. Affordable Units

2a. Rented

| | | | | | |
|---------------------|-----|-----|------------|--------------|-------------|
| 1 Bed flat (1B2P) | 51 | 50 | 57 | 2907 | 26% |
| 2 Bed flat (2B4P) | 72 | 70 | 82 | 5904 | 38% |
| 2 Bed duplex (2B4P) | 83 | 83 | 32 | 2656 | 15% |
| 3 Bed flat (3B5P) | 86 | 86 | 22 | 1892 | 10% |
| 3 Bed duplex (3B5P) | 96 | 96 | 9 | 864 | 4% |
| 3 Bed house (3B6P) | 106 | 115 | 3 | 318 | 1% |
| 4 Bed flat (4B7P) | 109 | 109 | 7 | 763 | 3% |
| 4 Bed house (4B7P) | 117 | 127 | 7 | 819 | 3% |
| TOTAL | | | 219 | 16123 | 100% |

2b. Intermediate

| | | | | | |
|---------------------|-----|-----|------------|--------------|-------------|
| 1 Bed flat (1B2P) | 50 | 50 | 77 | 3850 | 27% |
| 2 Bed flat (2B3P) | 68 | 68 | 105 | 7140 | 37% |
| 2 Bed duplex (2B4P) | 87 | 87 | 19 | 1653 | 7% |
| 3 Bed flat (3B5P) | 90 | 90 | 52 | 4680 | 18% |
| 3 Bed duplex (3B5P) | 100 | 100 | 34 | 3400 | 12% |
| TOTAL | | | 287 | 20723 | 100% |

2000 139162

3. Total Affordable Units

| | | | | | |
|--------------|-----|--------|-----|-------|-----|
| 1 Bed flat | 51 | 50 | 134 | 6757 | 26% |
| 2 Bed flat | 70 | 68-70 | 187 | 13044 | 37% |
| 2 Bed duplex | 85 | 83-87 | 51 | 4309 | 10% |
| 3 Bed flat | 88 | 86-90 | 74 | 6572 | 15% |
| 3 Bed duplex | 98 | 96-100 | 43 | 4264 | 9% |
| 3 Bed house | 106 | 115 | 3 | 318 | 1% |
| 4 Bed flat | 109 | 109 | 7 | 763 | 1% |
| 4 Bed house | 117 | 127 | 7 | 819 | 1% |

506 36846 100%

4. Total Units (Private and Affordable)

| | | | | | |
|--------------|-----|--------|-----|-------|------|
| 1 Bed flat | 50 | 50 | 544 | 27257 | 27% |
| 2 Bed flat | 69 | 68-70 | 955 | 65268 | 48% |
| 2 Bed duplex | 86 | 83-87 | 137 | 11791 | 7% |
| 3 Bed flat | 89 | 86-90 | 184 | 16472 | 9% |
| 3 Bed duplex | 99 | 96-100 | 153 | 15264 | 7.5% |
| 3 Bed house | 111 | 115 | 8 | 1893 | 0.5% |
| 4 Bed flat | 109 | 109 | 7 | 763 | 0.5% |
| 4 Bed house | 122 | 127 | 12 | 1454 | 0.5% |

2000 139162 100%

% of Private Mix 75%

% of Affordable Mix 25%

| | NIA (sqm) | GIA (sqm) | GEA (sqm) |
|--|-----------|---------------|---------------|
| Total Residential | 139162 | 178276 | 198864 |
| Total Community | 0 | 3288 | 3566 |
| Total Commercial | 0 | 1630 | 1766 |
| Total Basement | 0 | 16134 | 0 |
| Total Undercroft | 0 | 35747 | 0 |
| Total Combined Undercroft and Basement | 0 | 51881 | 51531 |
| TOTALS | | 235075 | 257075 |
| Total Habitable Rooms | | 5976 | |
| Site Area (sqm) | | 129902 | |

4.2 USE AND AMOUNT

Residential

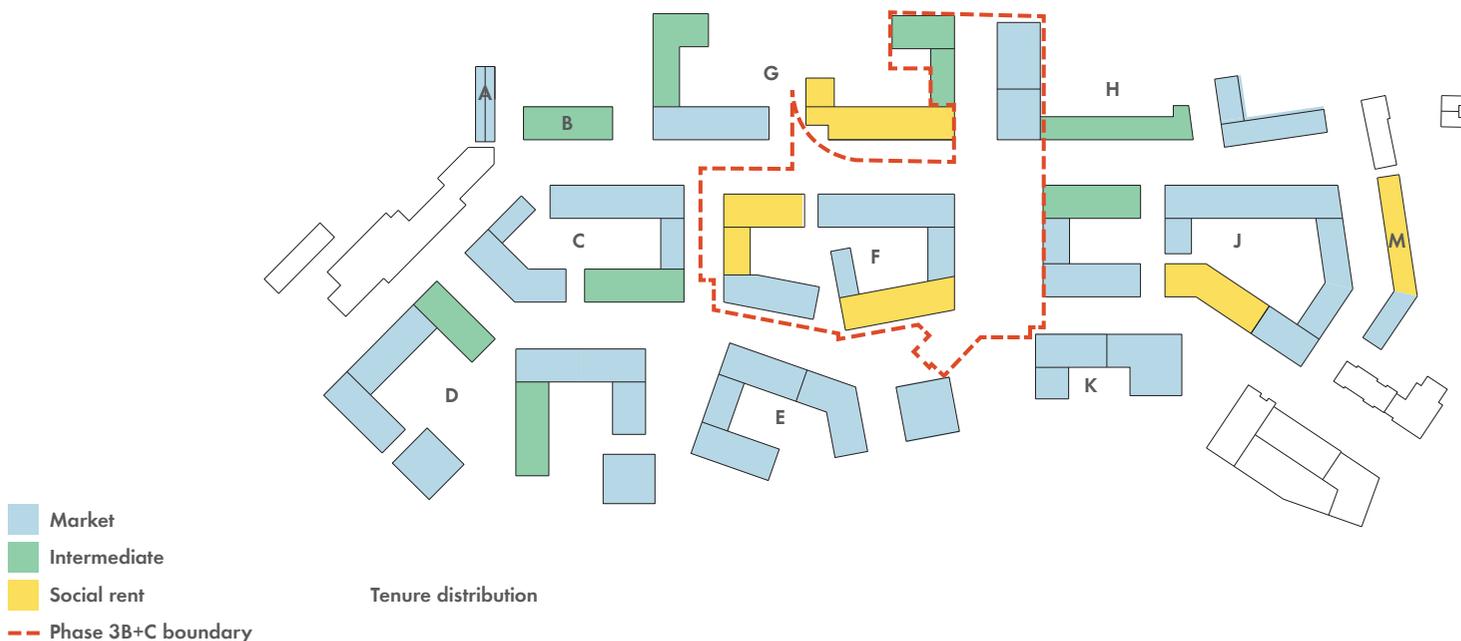
The residential accommodation proposed in the masterplan is defined by the need to deliver a viable scheme and the need to provide suitable housing for decanting secure tenants on a needs basis. Accommodation will be designed to the Lifetime Homes requirements and to comply with the Mayor's Housing Design Guide. There will be a provision for 10% adaptable accessible units spread across all tenures and unit sizes. The residential mix is 75% private (market) and 25% affordable (shared ownership and social rent). All secure tenants will be re-housed on the site. The proposed masterplan will provide 2000 new residential units. 34 units are retained in Ramsey Close and 30 units within the retained buildings along the Broadway.

The table opposite outlines in detail the amount, mix and types of residential accommodation proposed.

The location of the tenures is informed partly by the phasing and decant strategy. The need for larger units also places an element of affordable on the south of the site towards Cool Oak Lane in the new townhouses M3 and M4. The remaining affordable units are distributed across the site and within phases, sharing courtyards with other tenures.

Commercial and Community Use

There is approximately 1600sqm of commercial floor space is to be incorporated into the scheme. 1230sqm of this commercial space is in Phase 3B+C. This commercial space is located on the Broadway and in Broadway Place and is envisaged to be suited to small retail units, convenience stores, restaurants or cafes. A new community centre and two form entry primary school with nursery are also accommodated within the masterplan.





crossings

improved crossings over the Broadway

commercial

commercial space at ground floor

Ramsey Close
(35 units retained)

community centre

primary school and nursery

community gardens
are being provided for residents in each block

bridge

link to playing fields and bowling club

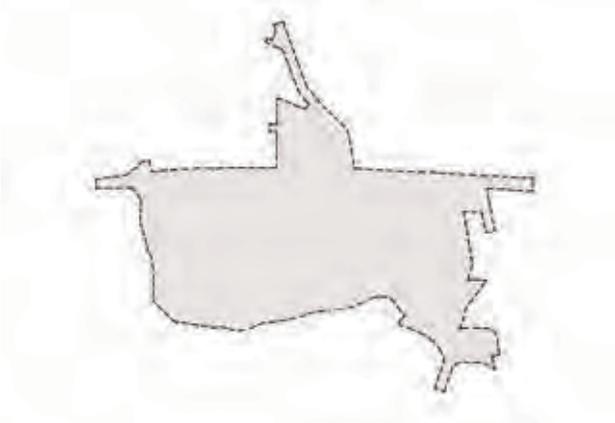
pedestrian route

no vehicles on the water's edge compared to previous application

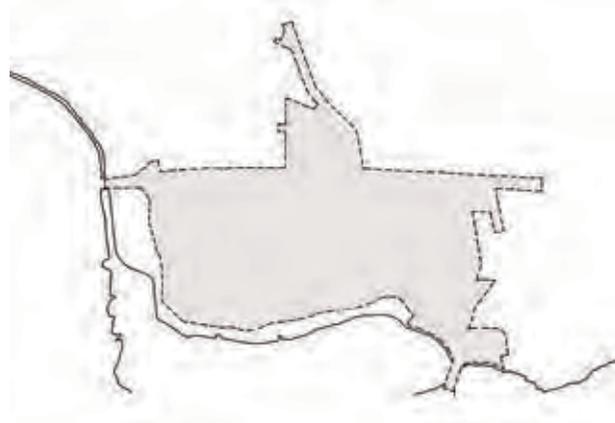
York Park

creates quality outdoor space for residents and visitors alike

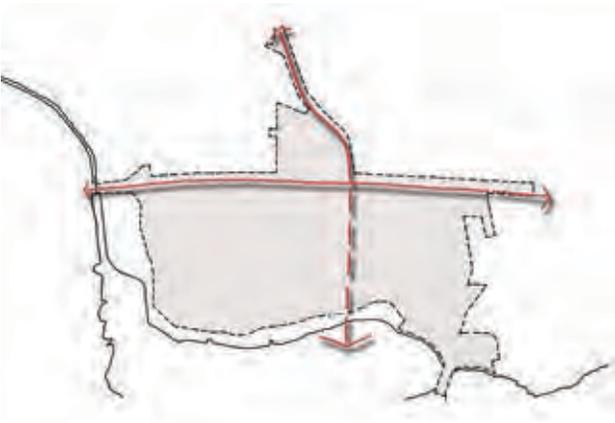




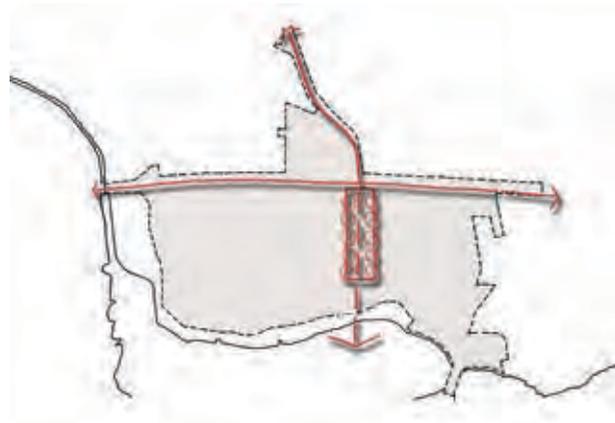
1 The masterplan boundary



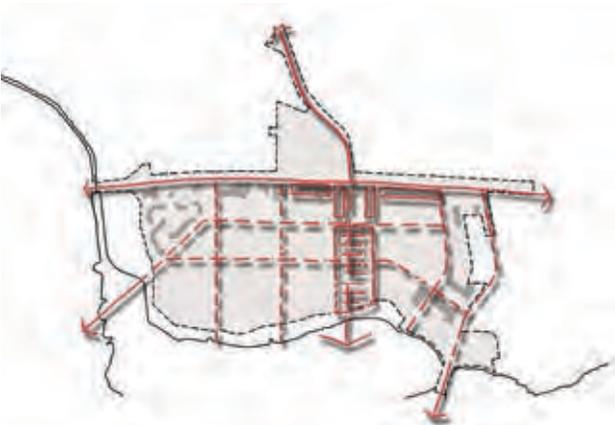
2 The waters edge



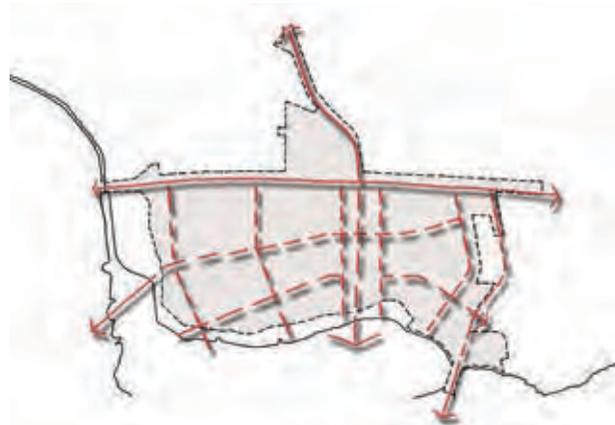
3 Connection to waters edge



4 Open space



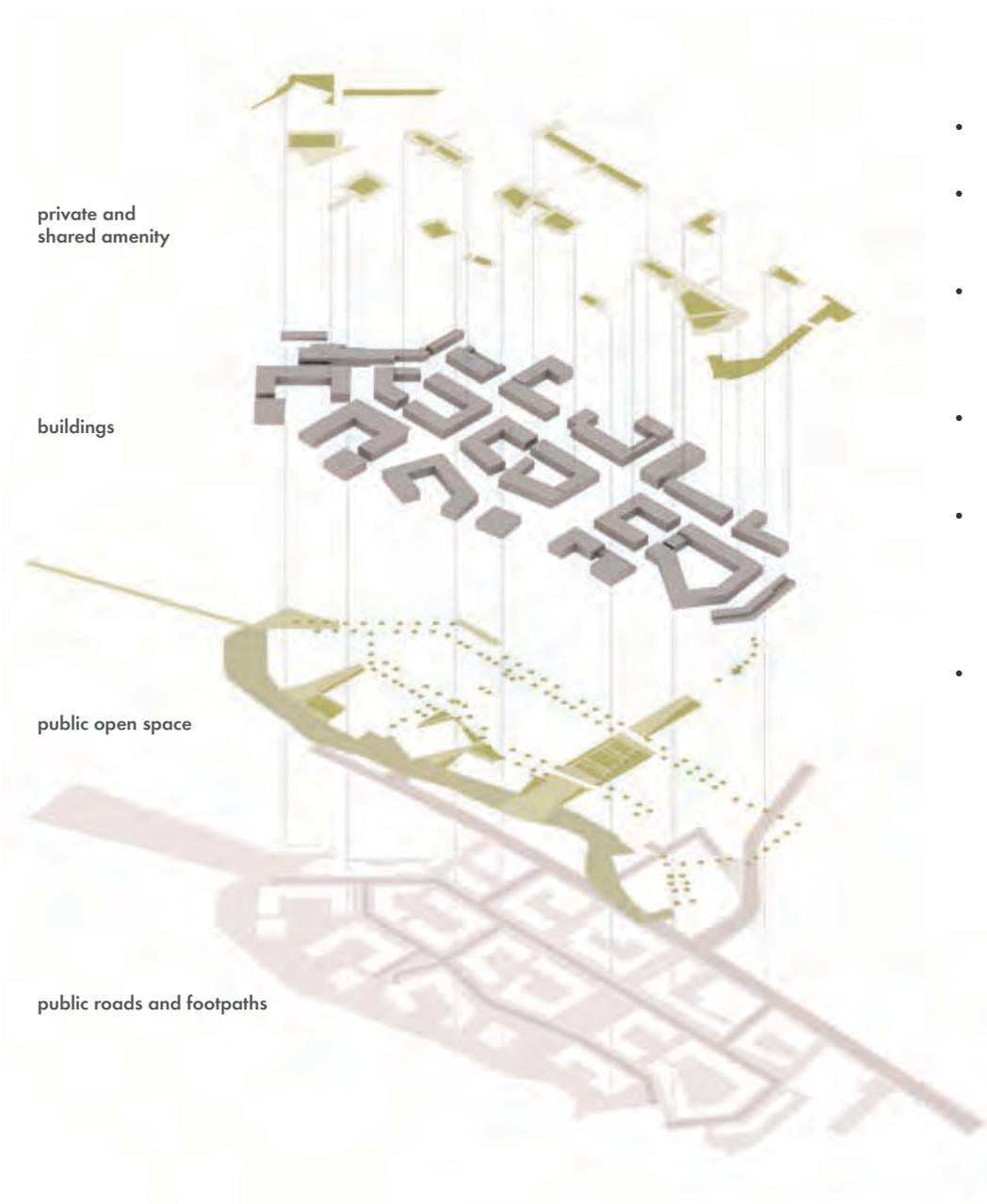
5 Urban framework



6 Soften the grid adjacent to water

Sketch diagrams showing masterplan principles

4.3 MASTERPLAN LAYOUT



Masterplan elements

The diagrams on the adjacent page highlight the design principles for the masterplan:

- Identify a clear hierarchy of pedestrian and vehicular routes across and around the site
- Make positive use of the level change from the Broadway to the waters edge to conceal parking in undercrofts where possible
- Develop a street and building layout which will function as a piece of legible townscape used by many different people not an isolated and closed estate
- Provide a clear and understandable sequence between streets, courtyards, entrances and front doors
- The masterplan is also 'stitched' into the existing urban fabric with a very similar interface with individual houses to the north and south end of the site building up to a more urban environment around the new park
- Provide an improved yet appropriate interface with the waters edge and SSSI



Existing view from Station Road towards the Broadway



Existing view from Broadway towards Hendon Station



View from Station Road towards the Welsh Harp



Route from the station subject to Section 106 requirements and priorities

4.4 ARRIVING IN WEST HENDON

On arrival by train to Hendon Station an improved pedestrian route with a wider footpath and public realm provides residents with an enhanced connection to the development and the Broadway.

The public space that leads to The Green, at the centre of the development, has been aligned with the pedestrian footpath to ensure that the visual link to this green public space and subsequently to the Welsh Harp is reinforced. The image on the adjacent page shows how this view emerges on the route from the station down to the Broadway allowing a vista through the development to the green edge of the Welsh Harp waterfront. The public space that forms the route and vista is part of the Phase 3B+C reserved matters application.

This new public space called “Broadway Place” will create a sense of arrival to the new neighbourhood for residents and visitors as well as providing a link to the Welsh Harp via The Green.

PERRYFIELD WAY

TELFORD ROAD

PERRYFIELD WAY

RAVENSTONE ROAD

BORTHWICK ROAD

RAMSEY CLOSE



Aerial photo of the Broadway (buildings for CPO highlighted in red)



PERRYFIELD WAY

181 - 193
Parade Terrace
(to be demolished to
enable Phase 3B+C)

TELFORD ROAD

195 - 197
(to be demolished to
enable Phase 3B+C)

PERRYFIELD WAY

Elevation of the Broadway (buildings for CPO highlighted in red)
— Buildings to be demolished to enable Phase 3B+C

4.5 A NEW PART OF THE BROADWAY



One of the principal studies undertaken as part of the masterplan review was to understand the condition of the buildings on the Broadway. Properties that could be retained were identified and this minimised the Compulsory Purchase Order (CPO) commitments while also maintaining social continuity.

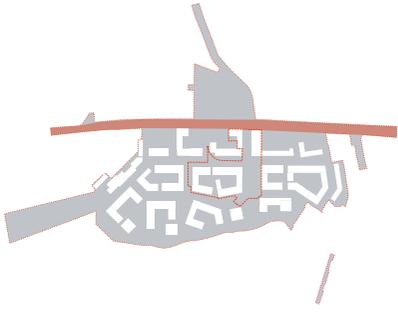
We identified buildings that can be kept and looked at 'soft spots' that can be repaired but the aim was to reduce the extent of the CPO. Many buildings along the Broadway are not in use with the impact of the economic downturn visible. However, these buildings have potential to be re-used and form part of the historic character of the area with the empty plots offering opportunities for growth and future development. Below are the key properties on the Broadway which will be subject

to CPO:

- No. 181-193 the Broadway: to enable a new public space
- No. 195-197 the Broadway: to enable a new public space
- No. 229-231 the Broadway: to improve the street frontage
- No. 233 the Broadway: to allow for highways improvement
- No 234-236 the Broadway: to allow for highways improvement

The demolition of buildings 181-193 and 195-197 the Broadway are included in Phase 3B + C.

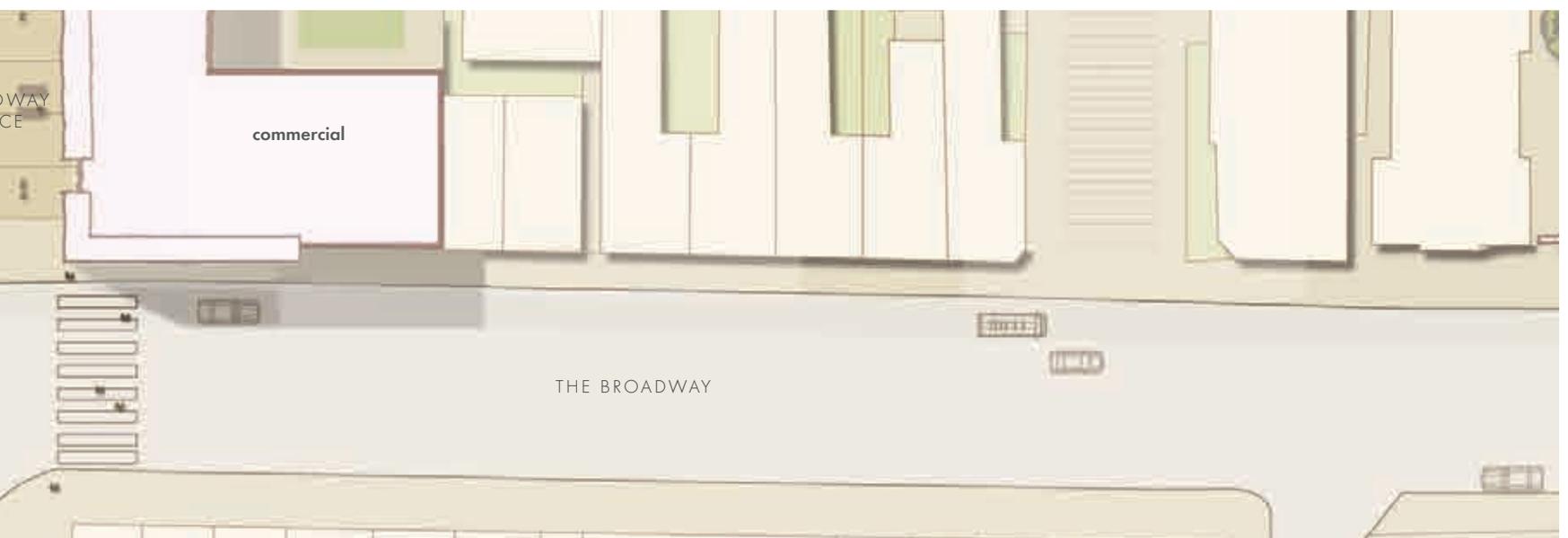
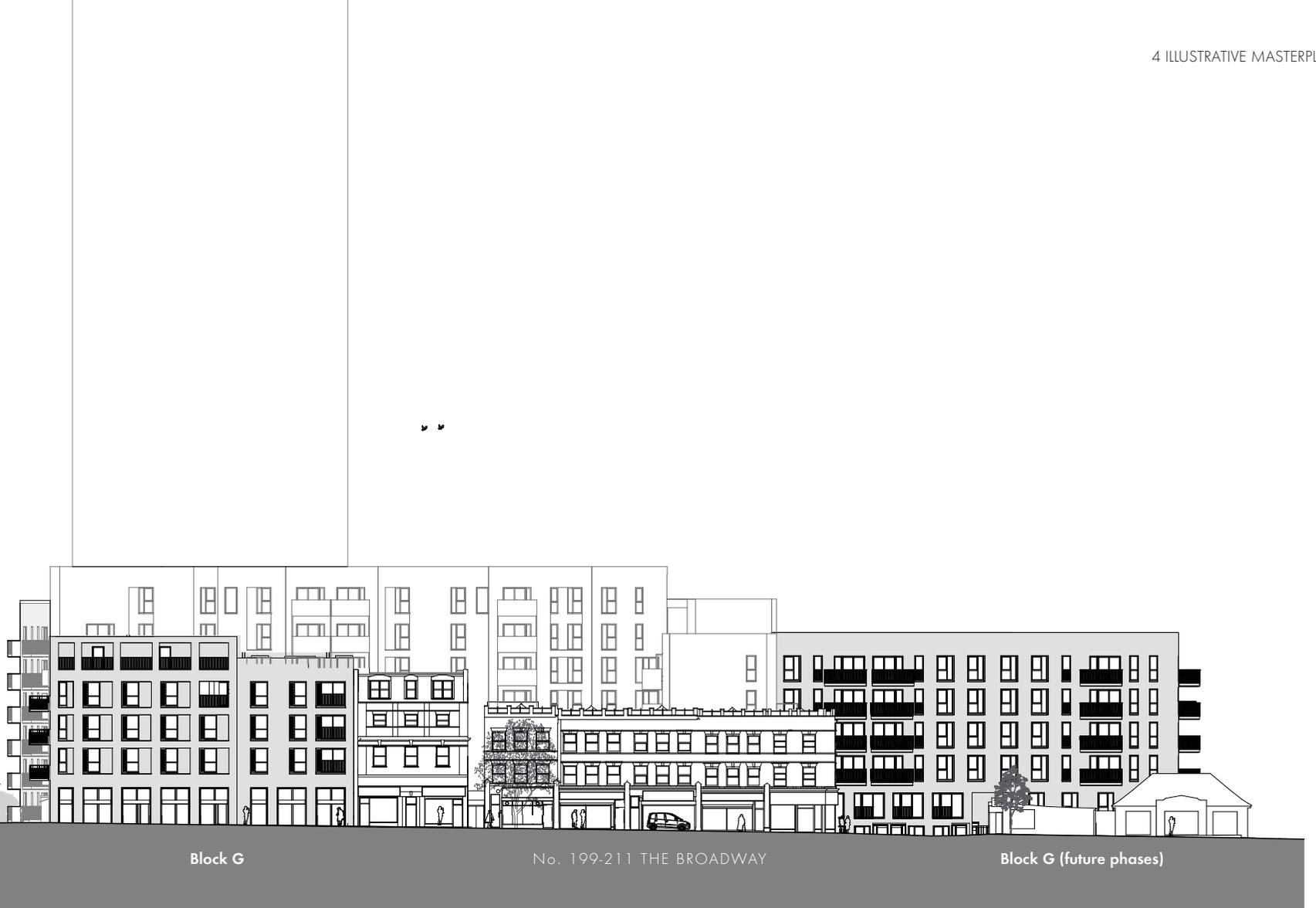


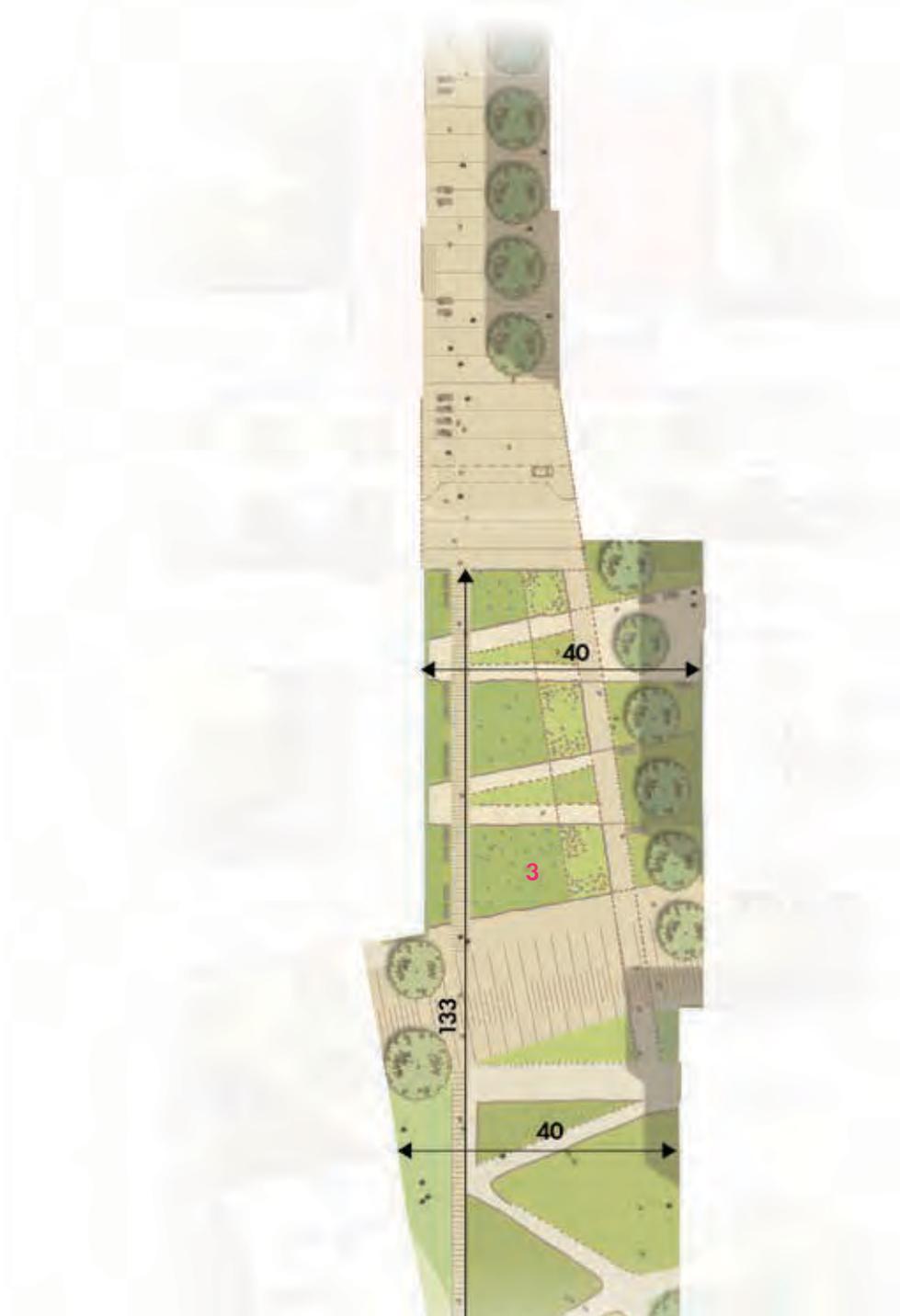
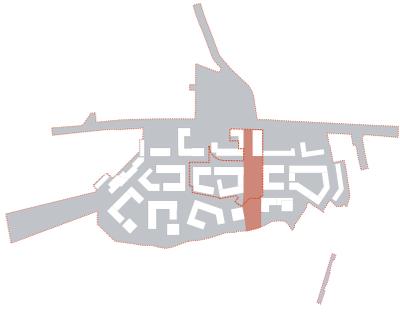


Elevation of the Broadway



Plan of the Broadway





Broadway Place and The Green

4.6 NEW PUBLIC OPEN SPACES

The masterplan is structured around a coherent framework of public places each with a distinctive character that relates to the site's context ranging from the urban character of the Broadway through to the natural character of York Park. The Landscape chapter reviews in detail the public open spaces but the studies on this page and the next page are provided in order to describe how the framework of public places proposed is structured across the masterplan.

The key public open spaces are:

- 1 Pocket Park
- 2 Link space
- 3 Broadway Place and The Green
- 4 York Park

Broadway Place and The Green form part of the Reserved Matters application for Phase 3B+C. When completed they will open up a view from the Broadway to the waters edge of the Welsh Harp. This will reinforce a key concept of the masterplan, to transform the journey from train station to the beautiful amenity of the Welsh Harp and its environs via a safe, accessible and visually interesting route which celebrates the transition from city to nature.





Welsh Harp

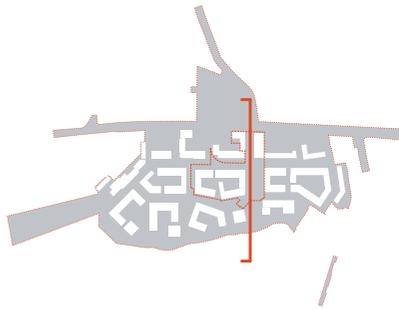
York Park

Block E

WEST STREET

Block

4.7 LEVELS AND ACCESS



The levels from the Broadway to the Welsh Harp fall by 9-10m. The proposals incorporate an accessible route down to the Welsh Harp from the Broadway which is integrated with the landscape and public realm. This change in level also has the benefit of enhancing the views towards the Welsh Harp from the Broadway and Station Road.

This accessible route is accessed via The Green and Broadway Place, which are included in the Reserved Matters application for phase 3B+C.



Phase 3B+C site

EAST STREET

Block G4

THE BROADWAY



RESIDENTIAL

